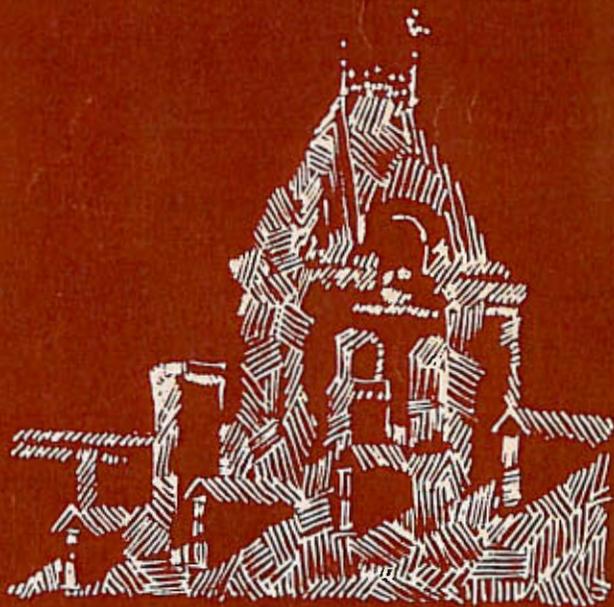
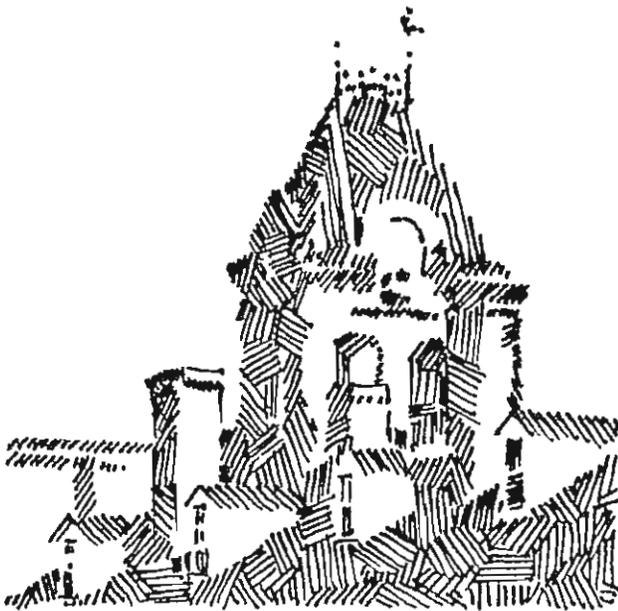


# THE AMOSKEAG



Standards for Rehabilitation  
within the  
Amoskeag Corporation Housing Historic District  
Manchester, New Hampshire



for the  
AMOSKEAG NEIGHBORHOOD ASSOCIATION  
Manchester, New Hampshire

Funded by the  
NORWIN S. AND ELIZABETH N. BEAN FOUNDATION

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# THE AMOSKEAG

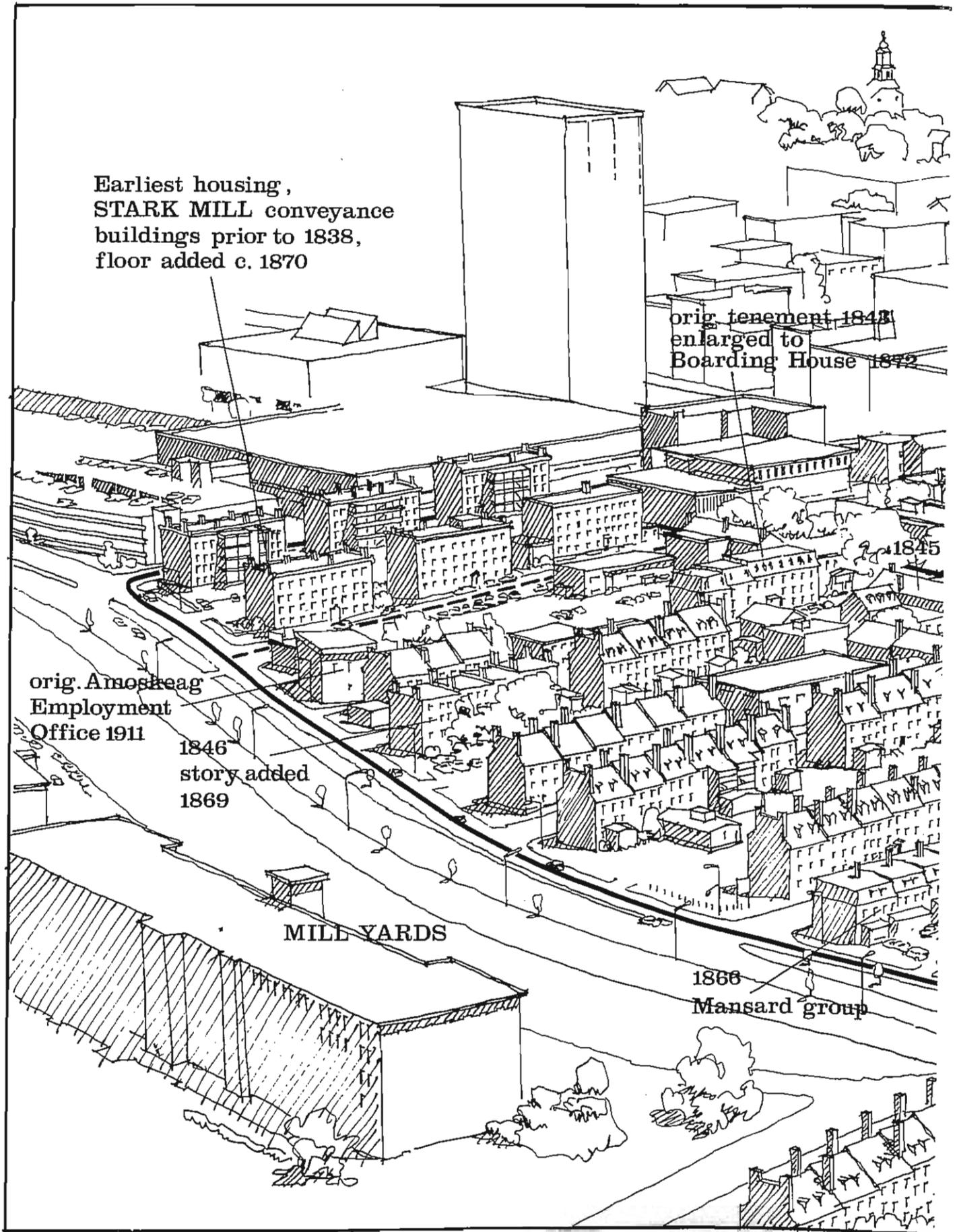
Standards for Rehabilitation  
within the  
Amoskeag Corporation Housing Historic District  
Manchester, New Hampshire

CYNTHIA HOWARD A.I.A. & ASSOCIATES  
ARCHITECTS & PRESERVATION PLANNERS  
Cambridge, Massachusetts

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Earliest housing,  
STARK MILL conveyance  
buildings prior to 1838,  
floor added c. 1870

orig. tenement 1843  
enlarged to  
Boarding House 1872

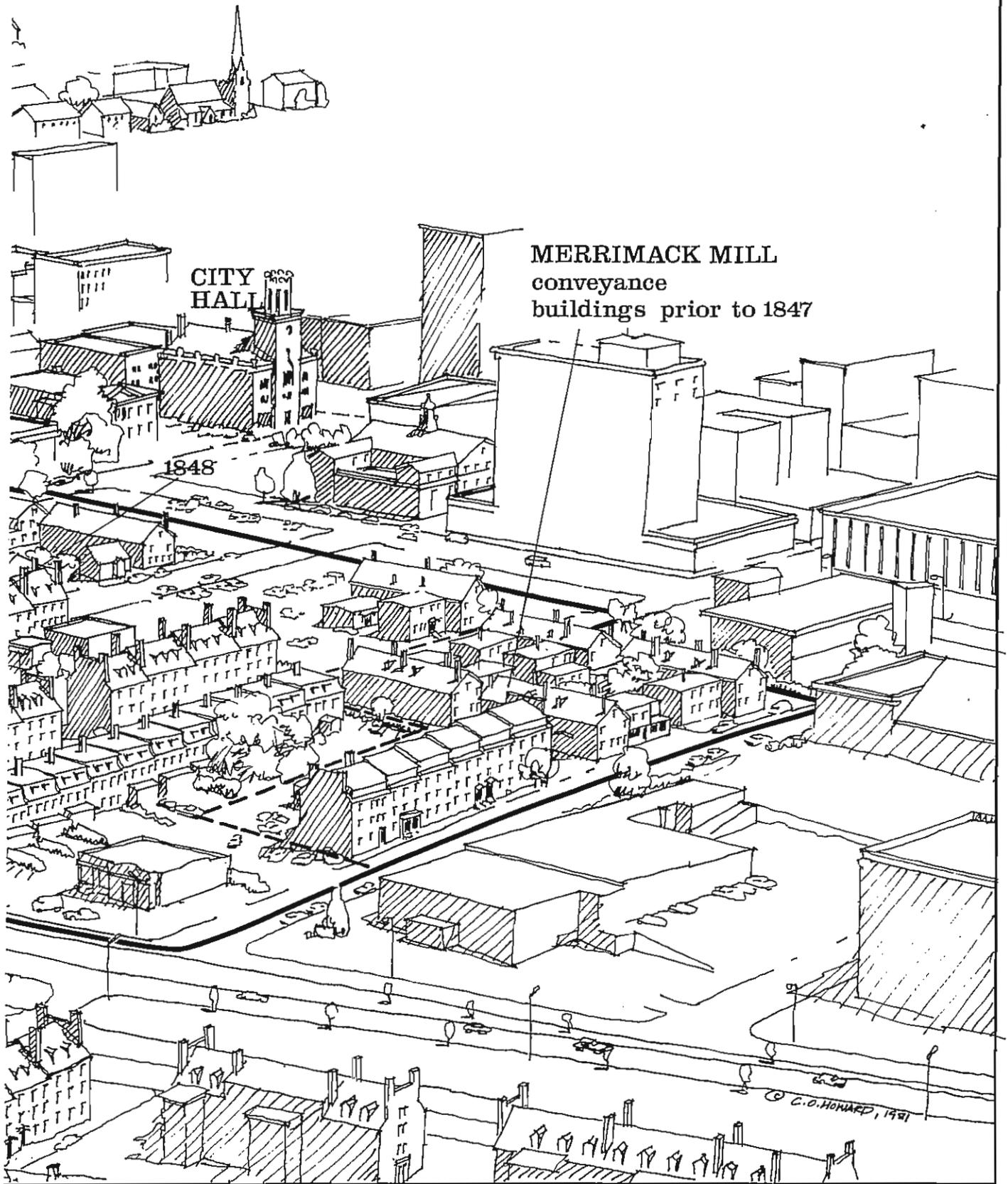
1845

orig. Amoskeag  
Employment  
Office 1911

1846  
story added  
1869

MILL YARDS

1866  
Mansard group



CITY HALL

MERRIMACK MILL  
conveyance  
buildings prior to 1847

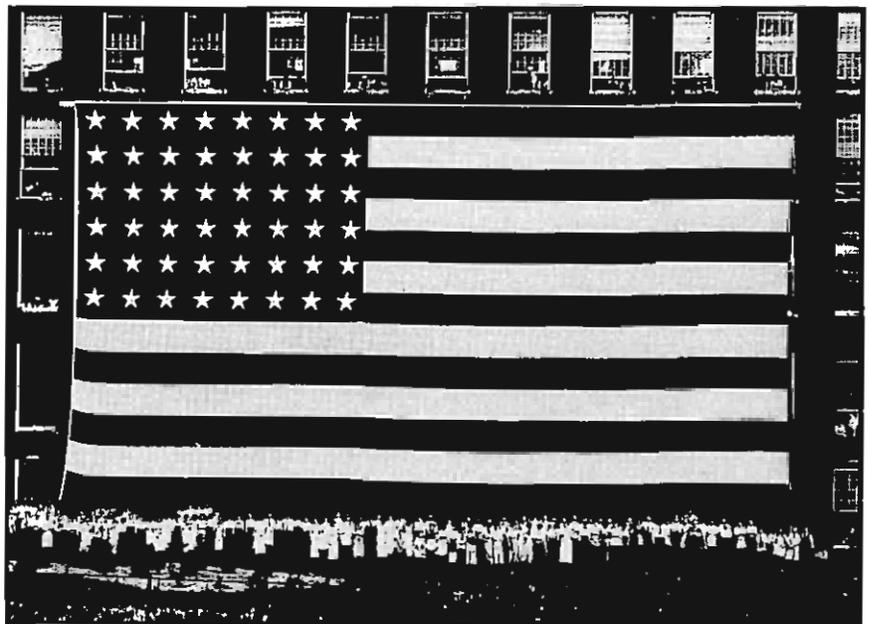
1848

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# I. Introduction

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"Most objects which we are accustomed to call beautiful... are single-purpose things, in which, through long development or the impress of one will, there is an intimate visible linkage from fine detail to total structure."<sup>1</sup>



Amoskeag Great Flag and textile workers of the Amoskeag Mill, Manchester, New Hampshire, c.1916. Photographer unknown.

The comment above was made by Kevin Lynch, perhaps the foremost city planner in this country. He was speaking of the Amoskeag Manufacturing Company's millyard complex and workers housing.

Manchester, New Hampshire is perhaps unique in this country. It was a 'one-horse' (in this case, one industry - textiles) town, with nearly every element of its form and organization determined by agents of the Amoskeag Manufacturing Company.

Perhaps only now that the mills have lost their sway over the power of the City and the lives of its people can we stand back and dispassionately evaluate, and appreciate, the architectural legacy bequeathed to Manchester by this Company.

---

1. Kevin Lynch, from Manchester: Downtown Plan



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Understandably, dispassionate appreciation has not always been easy. Generations of Manchester families were tied to the mills, for good or ill.

A panorama, looking east, of the mills along the Merrimack in 1883.

While the Corporation provided steady employment, housing, playgrounds and gardens for many of its workers, it was also the only major source of employment in the City for nearly a century. Many former workers remember as well that the housing was open only to chosen employees, usually English or Scottish.

Manchester as a community was the Amoskeag until 1936 when the mills were closed for ever by the Amoskeag Manufacturing Corporation.

One could liken the Amoskeag to a 'benevolent dictator'. Benevolent, yes (or perhaps?), but a dictator nonetheless.

The closing of the mills in '36 wreaked financial havoc on an already economically distressed city.

In the forty five years since the Corporation's abandonment of Manchester, many of the original Amoskeag structures have been lost to demolition. The narrow mills which once lined the canal are gone, and the canals themselves have been filled-in to create a four-lane thru-way which today cuts off what was once an intimate linkage between the Corporation housing and the Millyards.

These acts of destruction are unfortunate from an urban design point of view. Today we can look at the Amoskeag from an objective, aesthetic perspective and appreciate what has been lost.

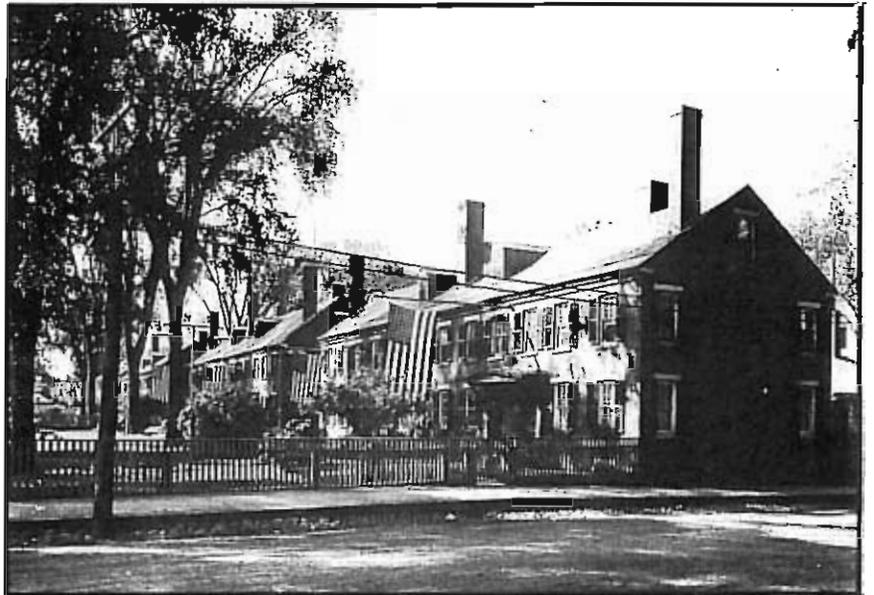
In hindsight, and in appreciation that the City was

The District as it looked around the turn of the Century. These tenements at Canal and Market Streets remain intact today. Alas, the magnificent canopy of elm trees is now gone.



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Overseers' tenements between Market and Middle Streets at the turn of the Century. The handsome fenced yards are now used as parking lots. Note the flag poles between entries.



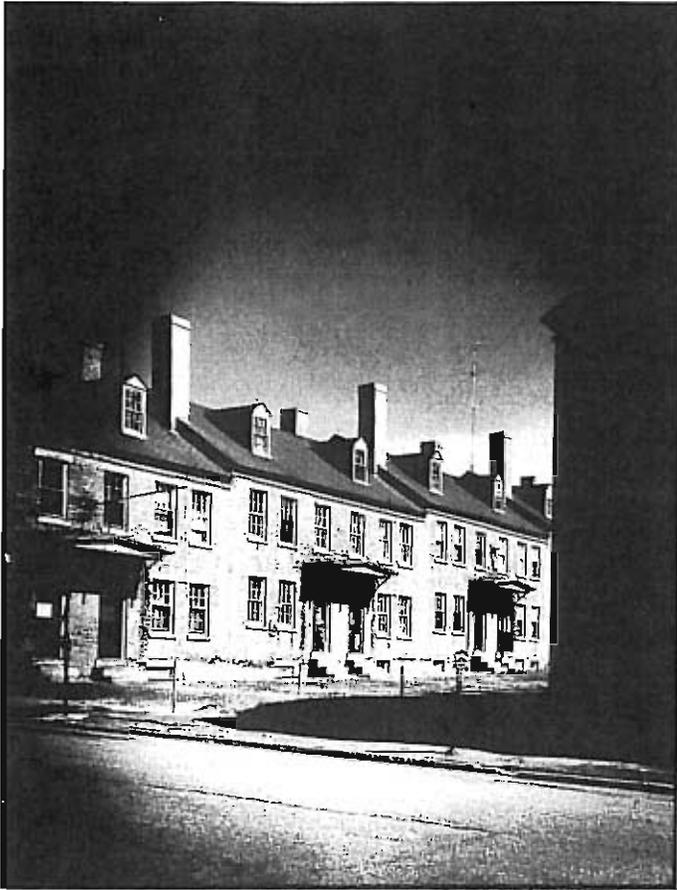
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in the throes of an attempt to turn itself around economically and to forge a new identity, these actions are understandable.

Today Manchester prospers under an identity of its own making.

Enough time has passed since the Amoskeag era to enable Manchester to reevaluate the legacy of the Amoskeag Manufacturing Company and to look with renewed understanding and appreciation upon its inheritance of Corporation structures.

As are cities nationwide, Manchester is focusing efforts towards downtown revitalization, and with



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it, an increased emphasis on upgrading of its inner-city housing stock. There is a growing appreciation among the public as well for older, 'historic', houses; for both their visual appeal and their inherently well-constructed value.

It is in this context that the City of Manchester has established an historic district encompassing five blocks of Corporation tenements: the Amoskeag Corporation Housing Historic District.

Established in May of 1980, the District provides not only public recognition of the historic and architectural quality of the area, but an important measure of protection as well.

A seven-member board of laypersons familiar with the District has been empowered by the City of Manchester under State legislation with responsibilities as an Historic District Commission. All exterior changes to buildings within the District are subject to their approval.

Primary responsibility for protecting the character of the Amoskeag Corporation Housing Historic District rests upon this body.

Overseers' blocks before and during demolition.

The Amoskeag agent W.P. Shaw's residence at the corner of Pleasant and Franklin Streets. From the photograph collection of the Amoskeag Manufacturing Company now in the care of the Manchester Historic Association.



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The site today.

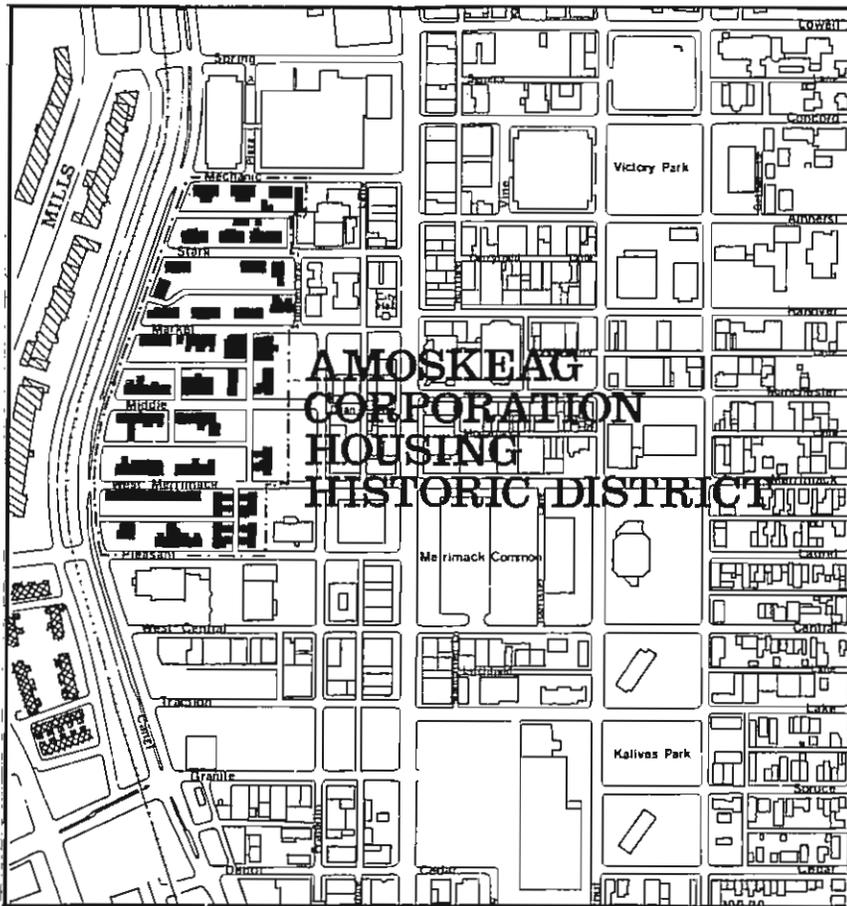
This is not a light responsibility. Like many regulatory bodies, members of the Commission need experience, technical knowledge and staff support to be effective. The questions they encounter require knowledge of architecture, architectural history, landscape architecture, and design.

And perhaps most importantly, the reviewing body requires some means of communicating to applicants the standards by which proposed changes within the District will be judged.

It is towards assisting the Commission in this last area that this handbook has been created.

#### Purpose of this Publication

This publication, The Amoskeag; Standards for Rehabilitation within the Amoskeag Corporation Housing Historic District, has been prepared



The District's location lies mid-way between Manchester's commercial street, Elm Street, and the millyards. Its once intimate connection to the mills is now severed by a major 4-lane hi-way (Canal Street).

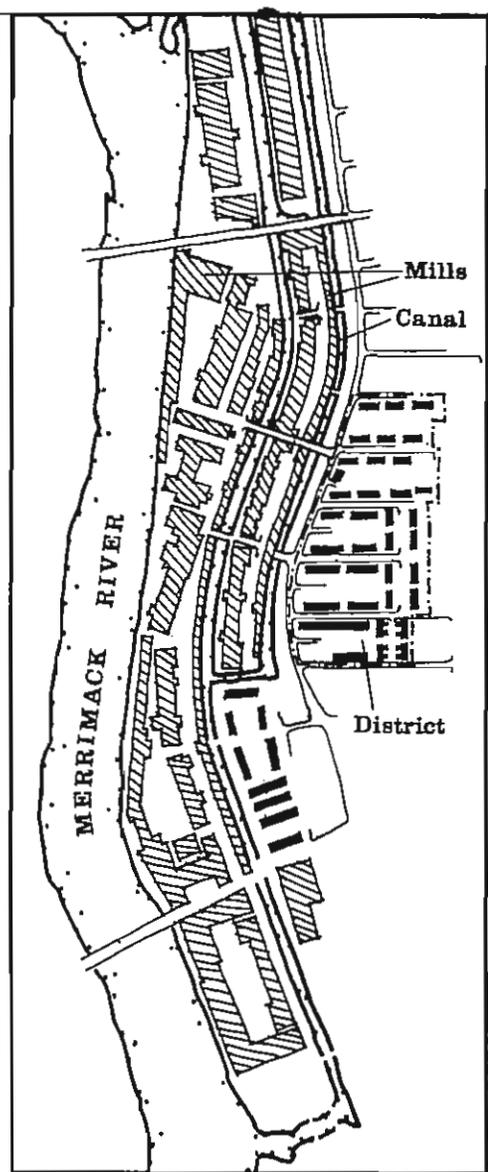
through the support and funding of the Norwin S. and Elizabeth N. Bean Foundation and concerned residents of the District, the Amoskeag Neighborhood Association.

Its purpose is twofold: Firstly, the information is designed to acquaint the general public with the District's architecture and characteristic details. This will stimulate new interest and appreciation for the District. Secondly, the publication identifies renovation actions which will enhance the architectural character of District buildings, and renovation actions which will detract from this character.

This information should help lighten the Commission's work load by dissuading applicants from considering alterations which are likely to meet with Commission opposition.

Although this publication can not override, or take the place of regulations issued by the Commission itself, it is offered by the Amoskeag Neighborhood Association with the hope that it will become a valuable tool towards accomplishing the Commission's objectives of protection and enhancement of Manchester's unique in-town historic district.

## II. Maintaining The District's Character



©MANCHESTER HISTORIC ASSOCIATION

Manchester has accomplished the two most important steps necessary to protect the District for future generations: the establishment of an Historic District, and the creation of an Historic District Commission.

The future of the District now rests with the actions of individual owners, through whose private investments the area will either fall or flourish in the future.

Though the Commission can control the quality of rehabilitation in the District, it can not require it.

Though these Standards for Rehabilitation may not be able to stimulate improvements, they can however help to dispel the possibility that in the public's mind the review procedure itself constitutes a deterrent to undertaking rehabilitation.

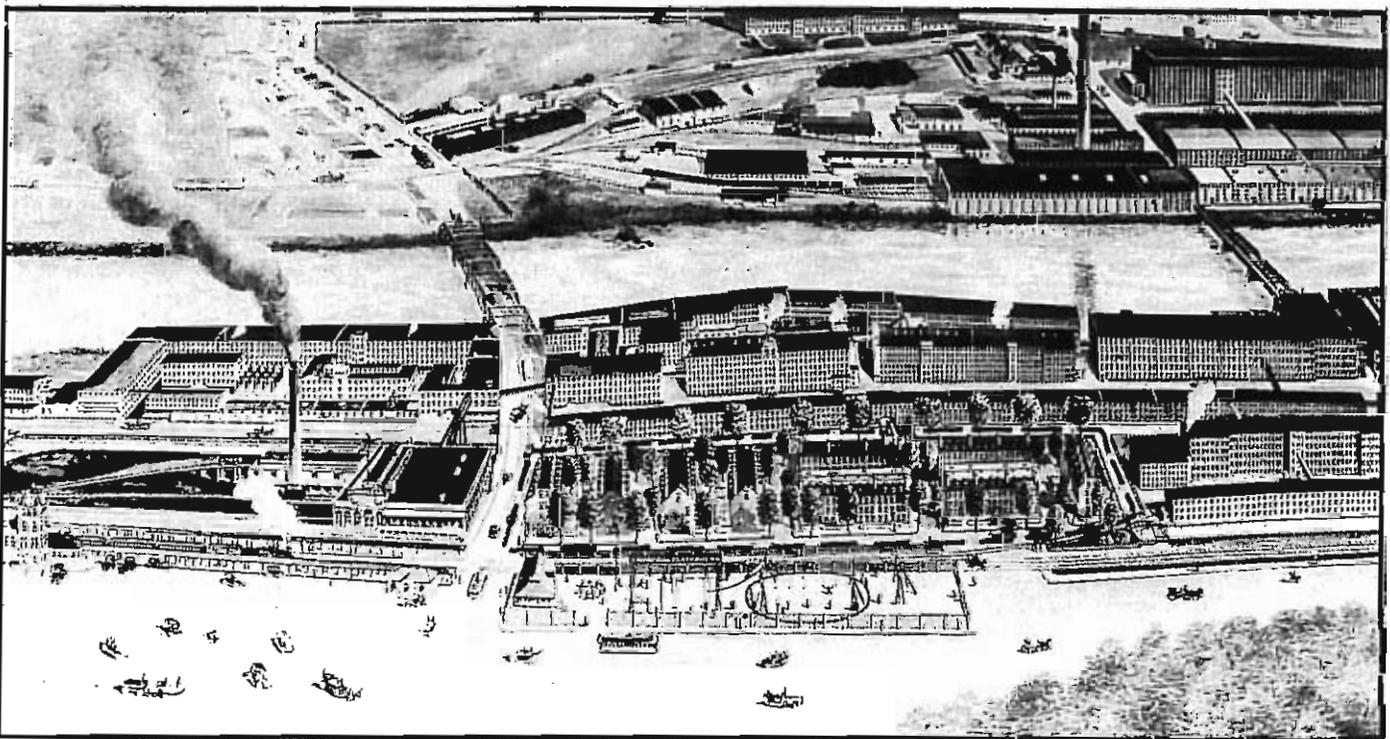
Good Guidelines Can Perform These Functions:<sup>1.</sup>

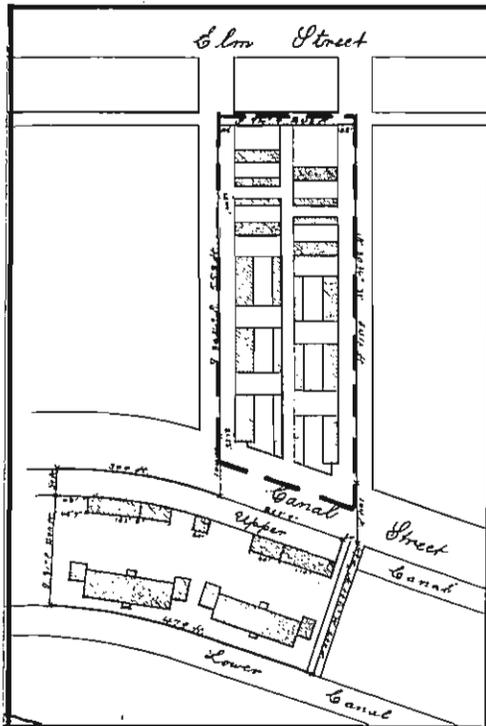
1. Identify the most important design review concerns in the District.
2. Provide Commission members with minimum standards for making decisions.
3. Help assure that all applicants are treated uniformly and fairly.
4. Promote consistency in decisions.
5. Establish evidence of fair procedure and objective criteria that strengthens the positions of the Commission should its decisions be challenged in court.
6. Clarify standards of appropriateness for applicants, architects and contractors, making it easier for them to comply.
7. Inform District property owners about rehabilitation and maintenance techniques that respect the existing architectural fabric, enhancing owners' investments.
8. Speed the processing of routine alterations.
9. Increase public awareness of the architectural character of the Historic District and the elements that contribute to it.

- 
1. Alice Meriwether Bowsher, Design Review in Historic Districts, The Preservation Press, Washington, D.C., 1978, page 26.

(Below) A bird's eye view of housing next to the Merrimack Mill.

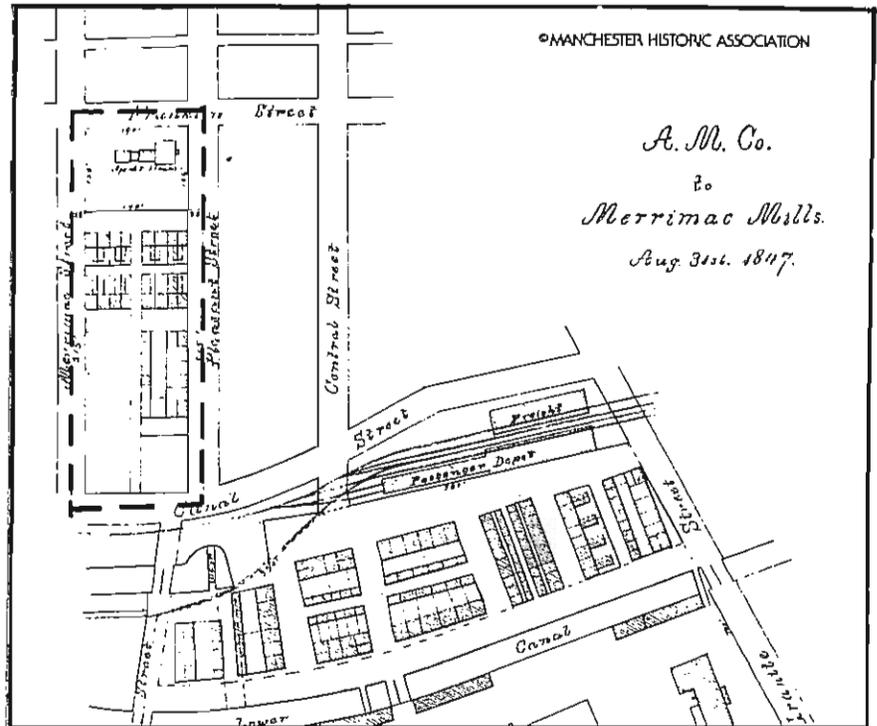
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At left: Property recorded as the 'Stark Land Conveyance of 1838' in Amoskeag Manufacturing Company records. Adjacent housing for the workers was an essential element in mill development.

At right: The Merrimack Mill Conveyance of 1847. Not shown here, the Mansard tenements on Merrimack Street were built in 1866.



The Amoskeag Corporation Housing Historic District is a local historic district. Its listing as a National historic district with the National Register of Historic Places in Washington D.C. is pending.

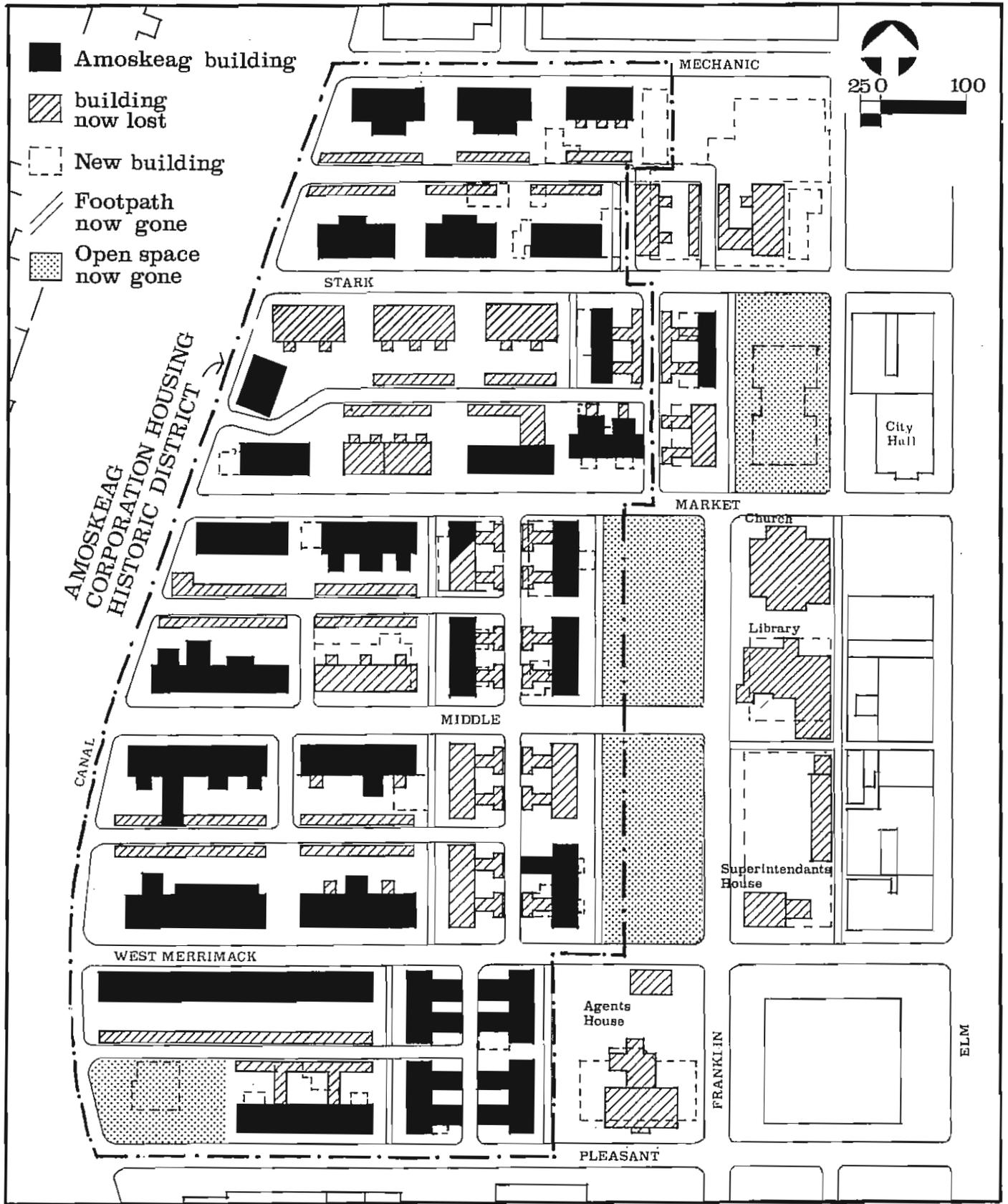
In the meantime, the local district is subject to the United States Secretary of the Interior's Standards for Rehabilitation to historic structures as these standards have been adopted by the local Historic District Commission.

The pertinent Standards are called to your attention at the end of the appropriate sections of this publication.

Applicants can anticipate that the Secretary of the Interior's Standards will prescribe the minimum acceptable standards for rehabilitation of buildings within the District.

THE FOLLOWING GUIDELINES FOR APPLYING THE SECRETARY OF THE INTERIOR'S STANDARDS ARE BROUGHT TO YOUR ATTENTION:

"The guidelines are designed to help individual property owners formulate plans for rehabilitation, preservation, and continued use of historic buildings consistent with the intent of the Secretary of the Interior's "Standards for Rehabilitation". They apply to permanent and temporary construction on the exterior and interior of historic buildings as well



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 34 Ash Street, Cambridge, Massachusetts 02138 681-0048

**Urban Design History**

Overseers houses along Franklin Street as they looked c. 1965. When compared with the lower photo on page six, one can assess the detrimental effect of extensive open parking lots on the character of the District. The second building from the left is now demolished.



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West Merrimack Street looking west prior to demolition of the canal buildings and filling of the canals. Originally the wall of mills along the canals provided a sense of closure to the residential streets. This urban design quality is now lost.



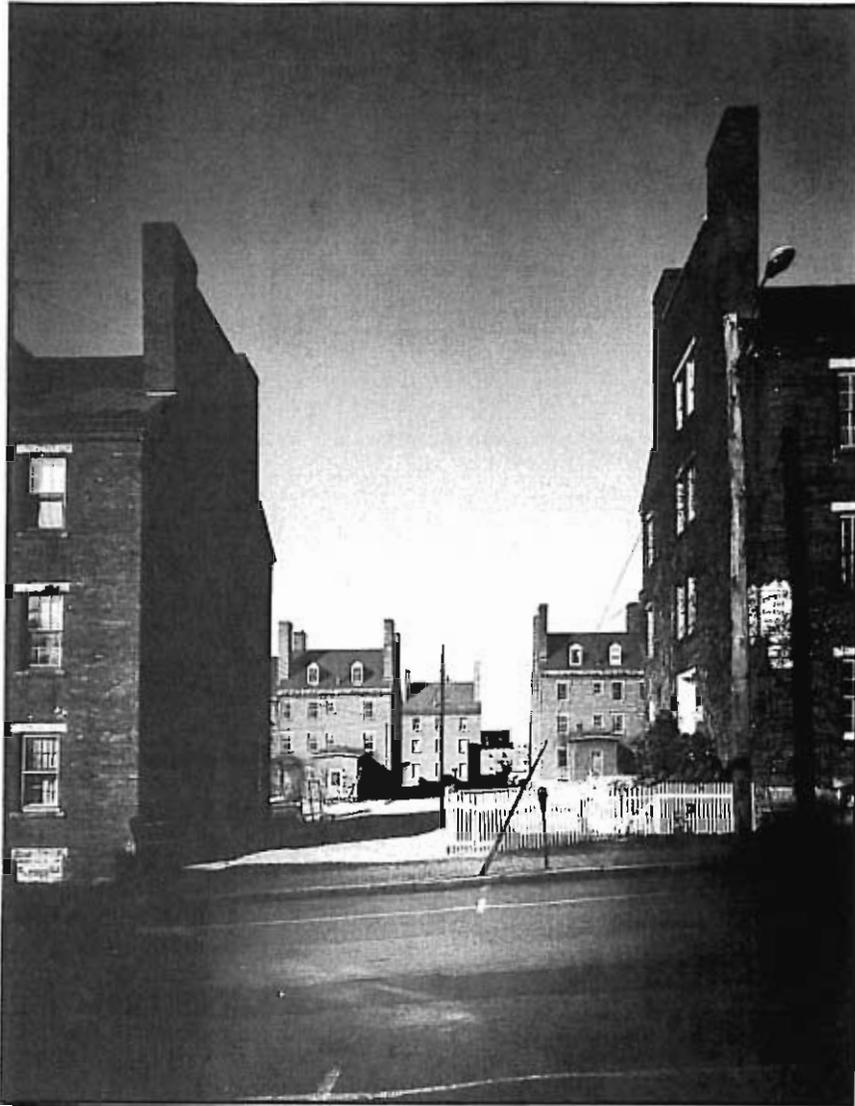
©RANDOLPH LANGENBACH

as to attached or adjacent construction.

Techniques, treatments, and methods consistent with "Standards for Rehabilitation" are listed in the "recommended" column. Not all recommendations listed under a treatment will apply to each project proposal. Rehabilitation approaches, materials, and methods which may adversely affect a building's architectural and historic qualities are listed in the "not recommended" column.

Specific information on rehabilitation and preservation technology may be obtained by writing to

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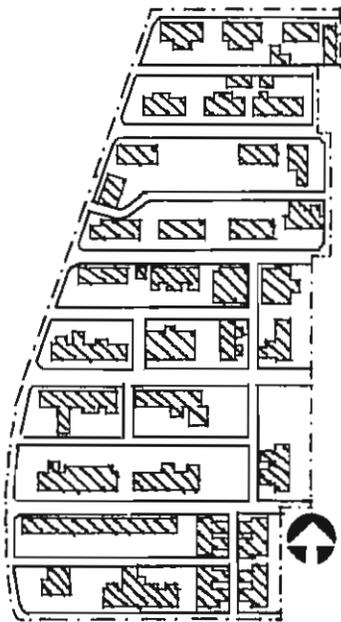
Looking north between buildings along West Merrimack Street. Note how the alleyways slip to the right, creating an interesting view of buildings five blocks deep. (See plan, page 13.)

the Technical Preservation Services Division, U.S. Department of the Interior, Washington, D.C. 20243, or your State Historic Preservation Officer. Advice should also be sought from qualified professionals, including architects, architectural historians, and archeologists skilled in the preservation, restoration, and rehabilitation of old buildings."

Refer to Section V for additional sources for assistance.

# Individual Buildings

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Public improvements to provide new sidewalks, street lighting and street trees will play an important role in the District's future, as will anticipated new construction both within and immediately adjacent to the District.

However, the single most important factor in the preservation of the Amoskeag's historic character will be the quality of improvements and maintenance to individual buildings by private property owners.

The following Secretary of the Interior's "Standards for Rehabilitation" provide the framework for determining acceptability of private rehabilitation actions:

1. "Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building and its environment, or to use a property for its originally intended purpose." (Note that this Standard virtually prohibits demolition of sound historic structures.)
2. "The distinguishing original qualities or character of a building and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided."
3. "All buildings shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged." ("Colonial" elements, for example, should be prohibited.)
4. "DETERIORATED ARCHITECTURAL FEATURES SHALL BE REPAIRED RATHER THAN REPLACED, WHEREVER POSSIBLE. IN THE EVENT REPLACEMENT IS NECESSARY, THE NEW MATERIAL SHOULD MATCH THE MATERIAL BEING REPLACED IN COMPOSITION, DESIGN, COLOR, TEXTURE, AND OTHER VISUAL QUALITIES. REPAIR OR REPLACEMENT OF MISSING ARCHITECTURAL FEATURES SHOULD BE BASED ON ACCURATE



Photo montage of District buildings.

DUPLICATIONS OF FEATURES, SUBSTANTIATED BY HISTORIC, PHYSICAL, OR PICTORIAL EVIDENCE RATHER THAN ON CONJECTURAL DESIGNS OR THE AVAILABILITY OF DIFFERENT ARCHITECTURAL ELEMENTS FROM OTHER BUILDINGS." (This is perhaps the most important Standard for the Amoskeag.)

5. "Wherever possible, new additions or alterations to structures shall be done in such a manner that if (they) were to be removed in the future, the essential form and integrity of the structure would be unimpaired."

6. "Contemporary design for alterations and additions to existing properties shall not be discouraged WHEN SUCH ALTERATIONS AND ADDITIONS DO NOT DESTROY SIGNIFICANT HISTORICAL, ARCHITECTURAL OR CULTURAL MATERIAL, AND SUCH DESIGN IS COMPATIBLE WITH THE SIZE, SCALE, COLOR, MATERIAL, AND CHARACTER OF THE (DISTRICT)." (Contemporary design means of our time, not "Colonial".)

The map at right provides a record of individual building condition as of May 1981. The ratings suggest as well a long-range planning strategy for the preservation of the District.

## Architectural Rating

### Historic Buildings:

A. An historic structure which is both well-maintained and in design, unaltered from its original condition. These buildings are the rare survivors in the District, and as such should merit special protection. Alteration of these structures should be strongly discouraged.

B. Historic structure in need of minor maintenance, or which exhibits inappropriate alterations or additions which are reversible. (Typical example: historically inaccurate door and/or entry hood.) Appropriate building fabric maintenance or replacement of missing original features should be strongly enforced. As with buildings rated 'A', historically inaccurate or 'modern' alterations or additions should be strongly discouraged.

C. These buildings are historically significant and, like buildings rated 'A' or 'B', original to the Amoskeag Corporation. 'C'-rated buildings however, are those in need of extensive maintenance (neglect presently threatens the fabric of the structure) and/or are buildings which have suffered major alterations detrimental to the buildings architectural and historic integrity. Major reinvestment in historically correct maintenance and replication of missing or altered original features should be strongly encouraged.

### New Construction:

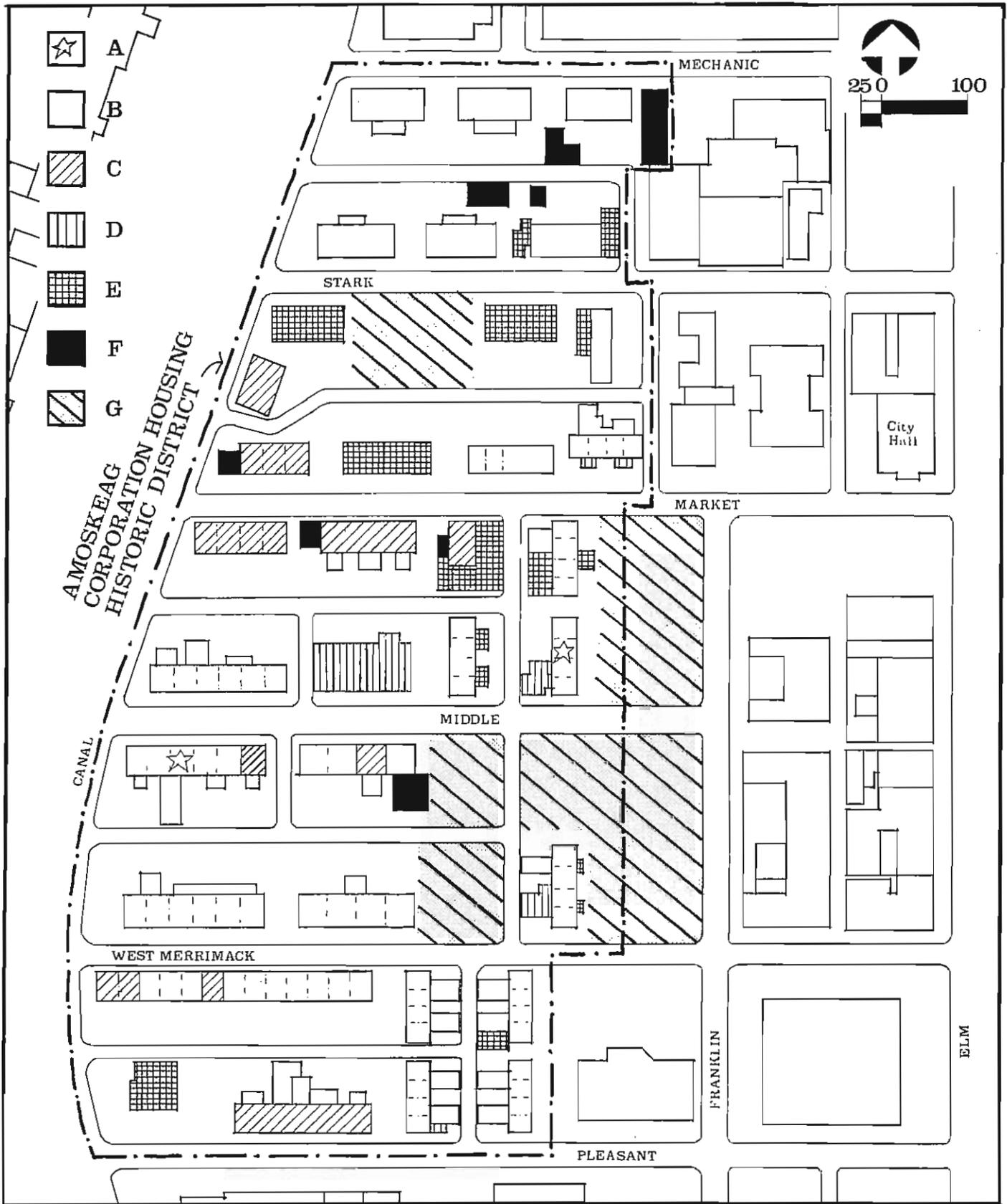
D. New building or addition architecturally compatible with the Historic District.

E. Buildings or additions of no historic significance which are in a sound and well-maintained condition. Removal or redevelopment of these structures is at present unlikely. When, however, redevelopment or alteration of buildings rated 'E' is proposed, redevelopment in an historically sympathetic manner should be strongly encouraged.

F. Building or addition of no historic significance (in some cases in need of major maintenance as well), which is architecturally incompatible with the Historic District. Removal if at all possible, or renovation in a manner more compatible with the District, should be encouraged.

### Open Space:

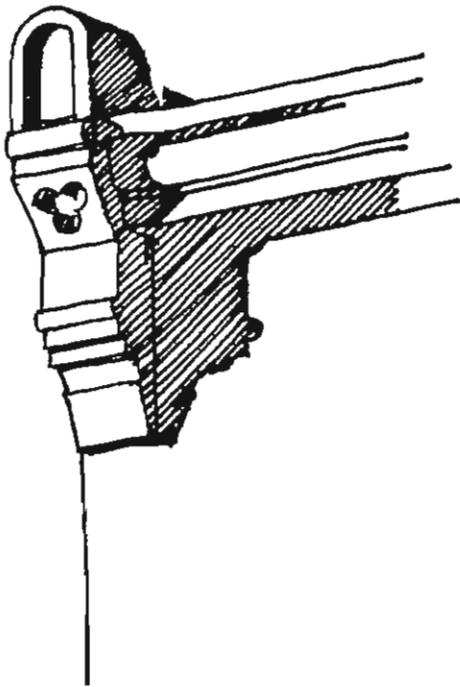
G. Vacant parcel in current condition or use which constitutes a visual blight in the District. Redevelopment and/or landscaping in a manner more sympathetic to the District should be encouraged.



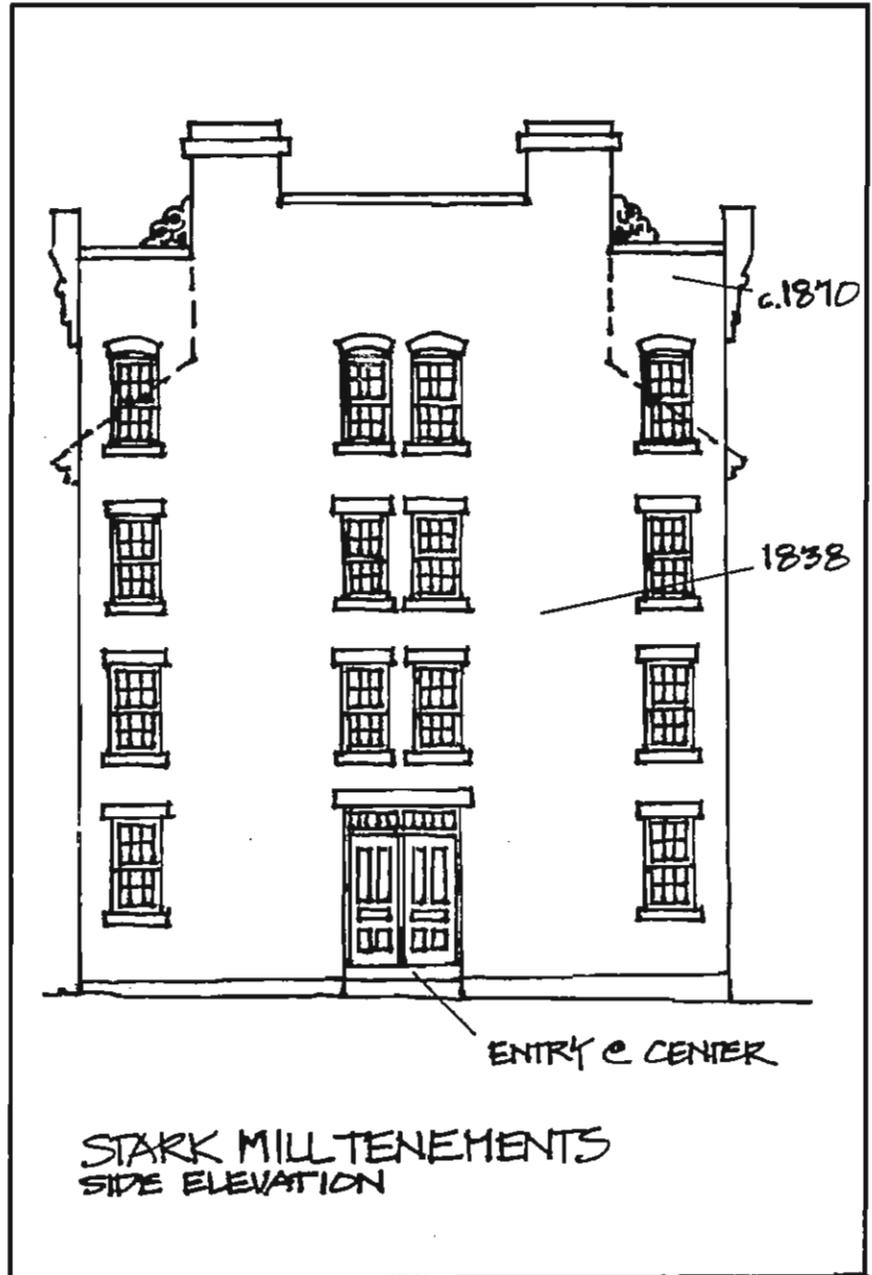
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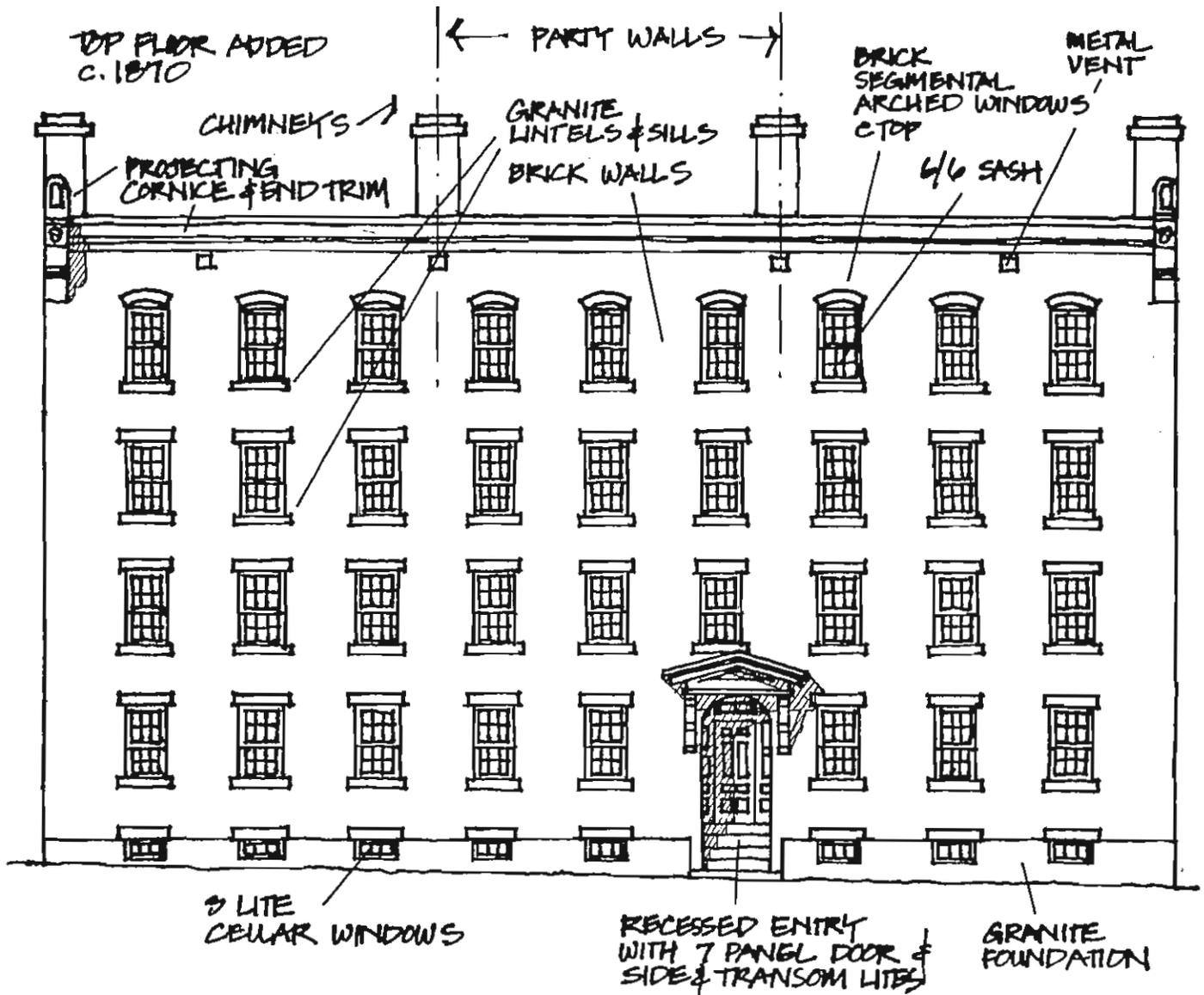
**ARCHITECTURAL RATING**

# Stark Mill Tenements



Decorative cornice trim, added to a number of Stark Mill tenements when fourth floors were added c.1870.



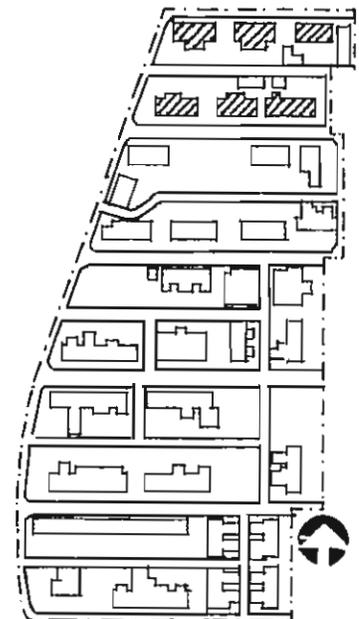


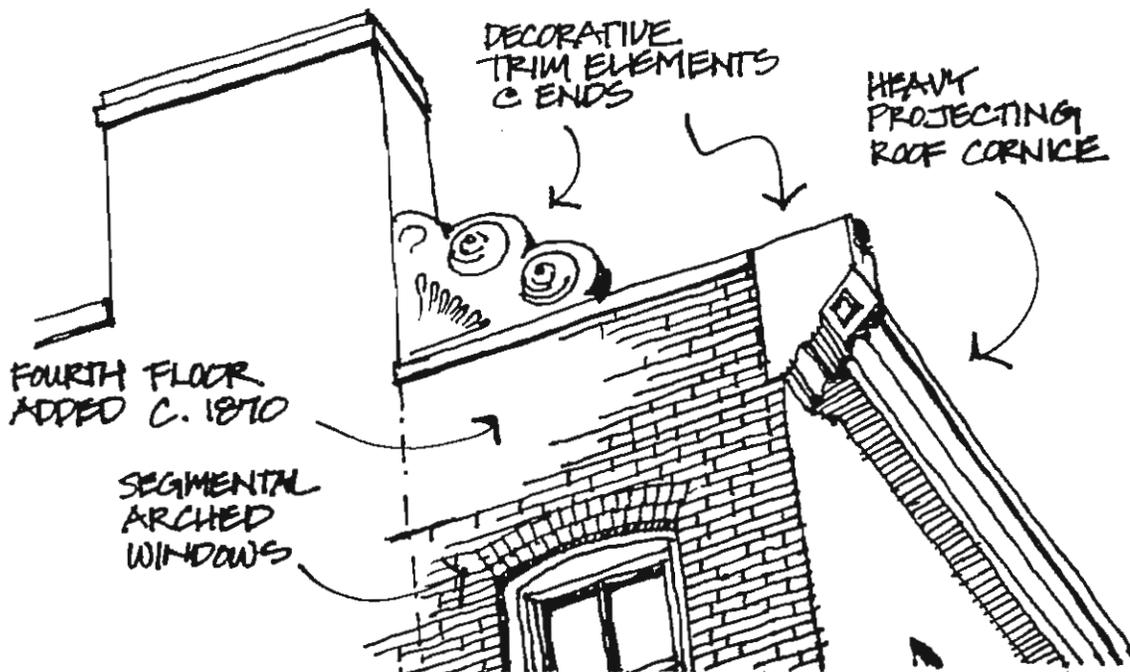
### STARK MILL TENEMENTS FRONT ELEVATION

The Stark Mill tenements, on the block bounded by Stark and Mechanic Streets, are the earliest buildings in the District.

Originally the buildings were three floors high with gable roofs and dormers. (Similar to tenements along Middle Street, including the classic Amoskeag entry with iron bracketed entry hood.)

The buildings were constructed c.1838; the fourth floors with segmental-arched windows were added c. 1870. Entries were blocked down slightly in size, and new hoods with wooden brackets were added by the Amoskeag over a number of decades; a variety of 'Amoskeag style' doors can be found on these buildings.





Entry, Mechanic Street tenement. This is most likely a later (Amoskeag) alteration. Note how the entry has been bricked narrower than the original granite opening.

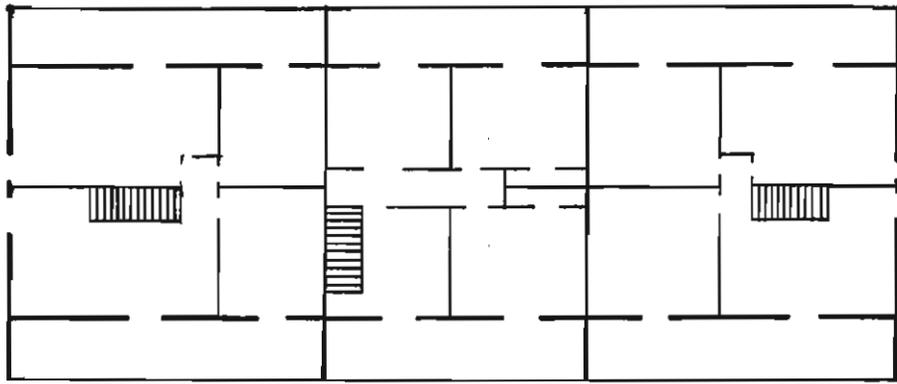
At right: Mechanic Street today.



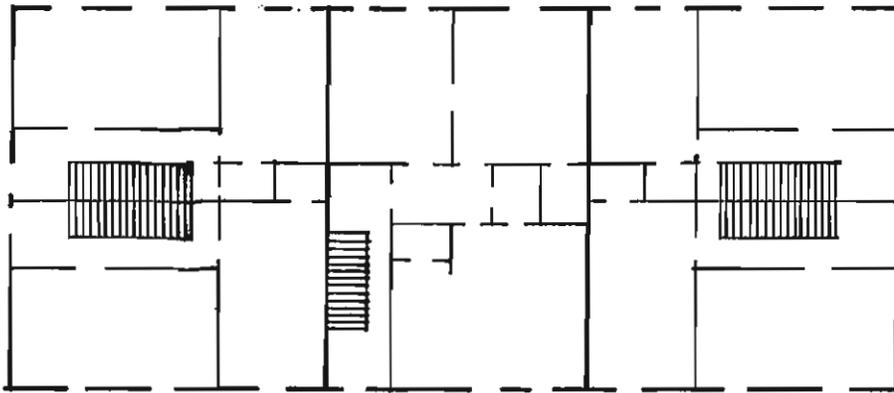
As with all Amoskeag structures, the regular pattern of windows are a principal design feature. Openings should not be altered.

Original paneled doors, transom and side lites, granite steps, and entry hoods, should always be retained.

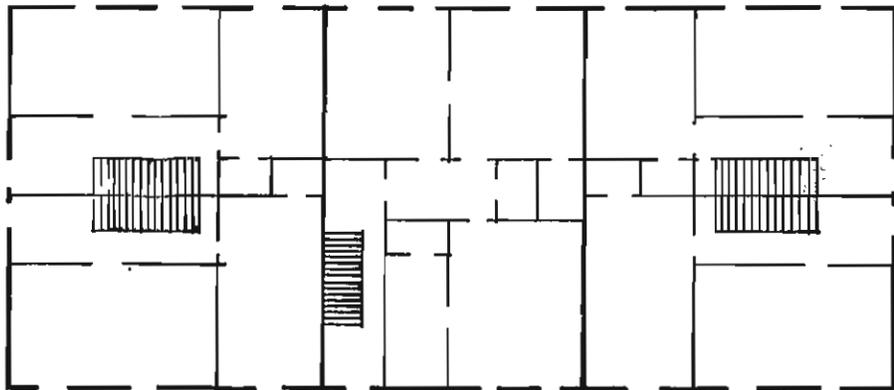
Additional information on these building elements can be found in III. Standards for Rehabilitation.



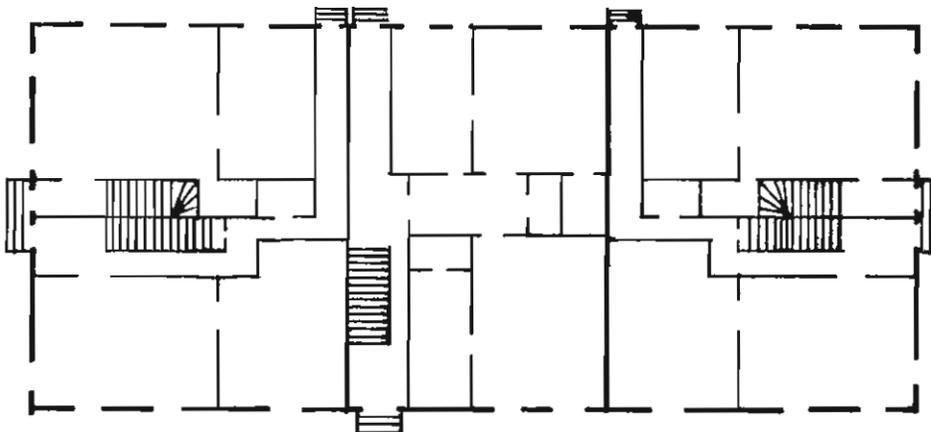
Fourth



Third



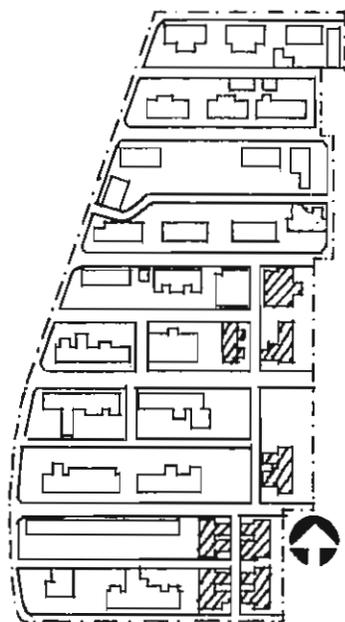
Second



First Floor Plan

Floor plans of Stark tenements derived from Amoskeag Manufacturing Company records held by the Manchester Historical Association.

# Overseers' Houses



Corporation overseers tenements between Middle and Merrimack Streets c. 1912.

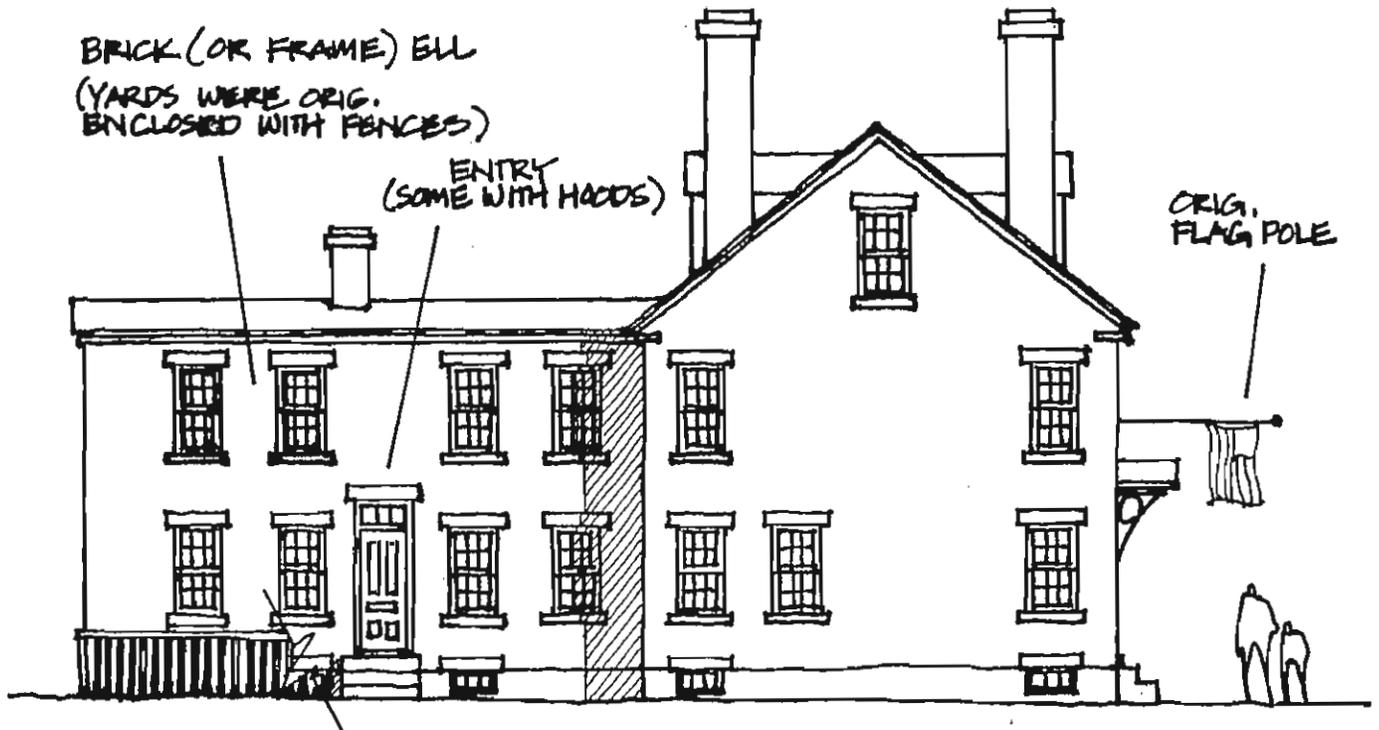


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The Amoskeag overseer's houses were developed over a number of years, like the tenements, in conjunction with successive mill development. As can be clearly seen on the plan of Amoskeag conveyances of 1838 and 1847 (page 12), a double row of tenements, with a double row of overseers houses at the east end, was typically developed as a single residential group to house workers for an individual mill.

Originally the entire east end of the District was lined with overseers' houses, with tree-lined front yards bounded by picket fences (see photo page 6). A number of these blocks are demolished, and yards are now used as parking lots.

Ells of brick or frame construction are an important component of these buildings.



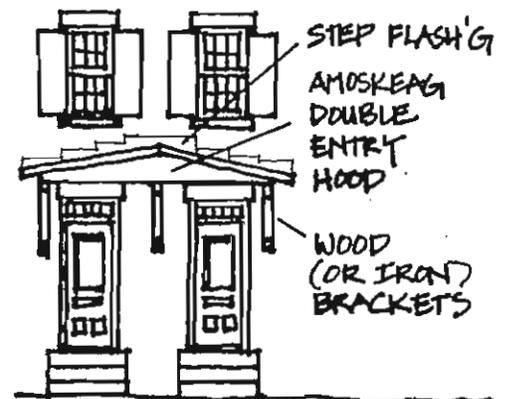
OVERSEERS HOUSE  
SIDE ELEVATION

The rythm of dormers, chimneys, and entry hoods from unit to unit, is essential to the buildings' architectural character. These features should never be removed.

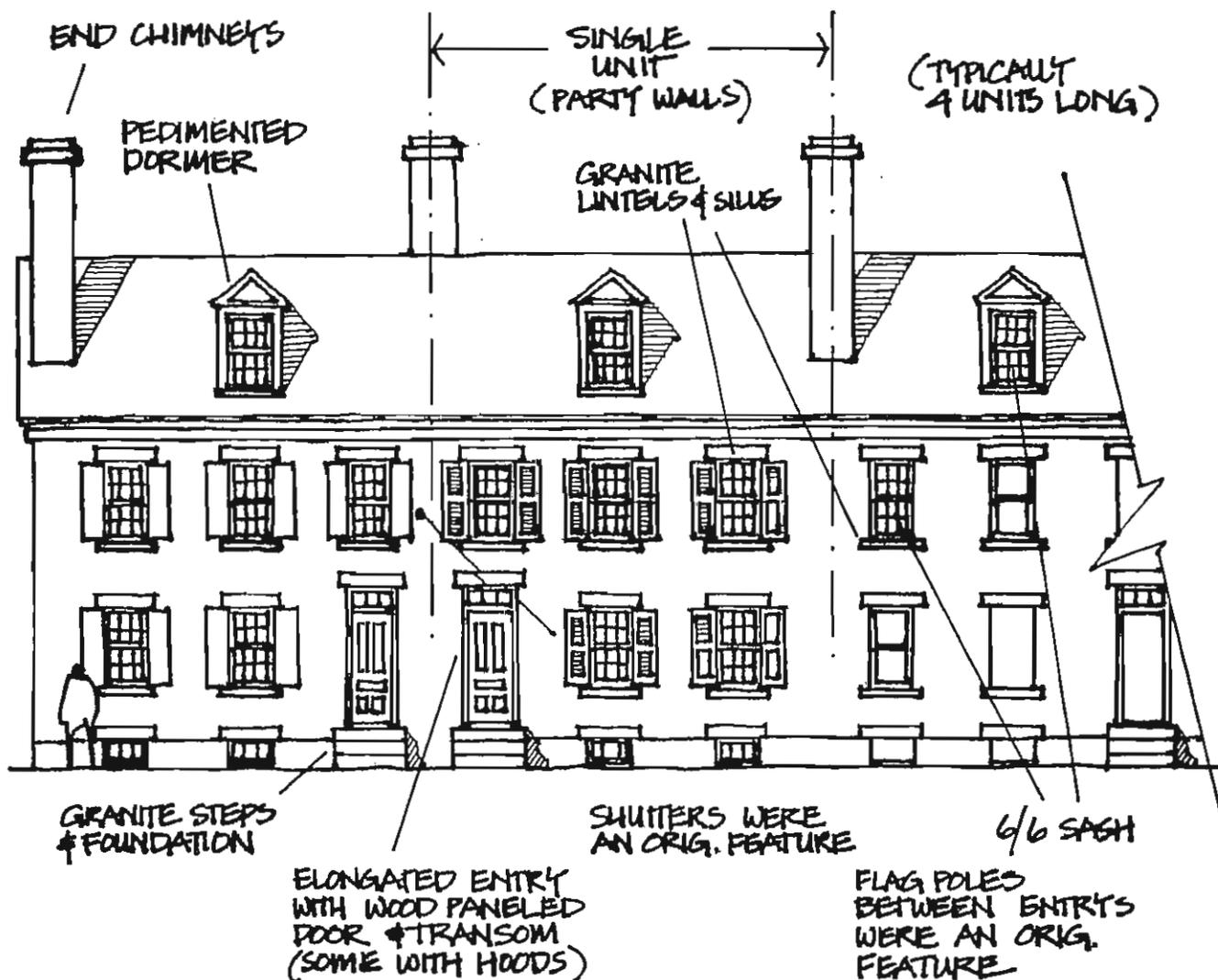
As these buildings were developed over a number of decades, a variety of detail evolved. Some houses have no entry hoods (Middle Street, facing west), most have 6/6 windows, although the block facing east on West Merrimack Street has unusual 3/1 sash.

The overseers' houses were the only District structures with shutters. Shutters are appropriate today only on these buildings.

Fences traditionally surrounded front and rear yards. Owners should consider reestablishing this handsome Amoskeag tradition. See page 79 for construction details for an Amoskeag fence.



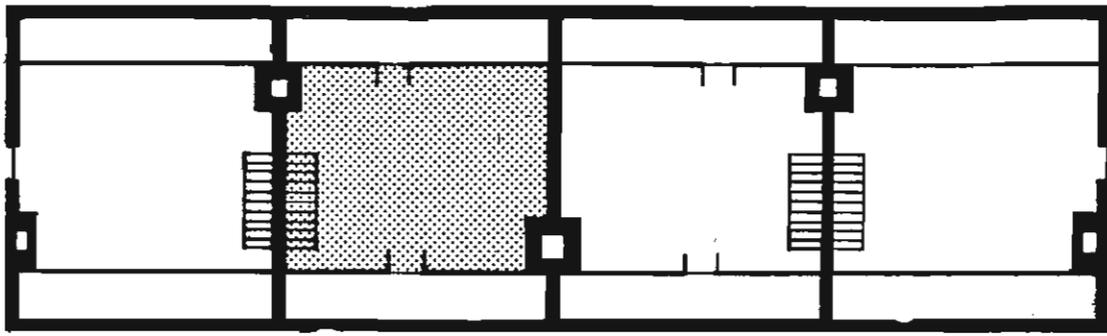
On the overseers houses the traditional Amoskeag pedimented entry hood was extended in width to cover two entrances. Some brackets were originally wood, others iron.



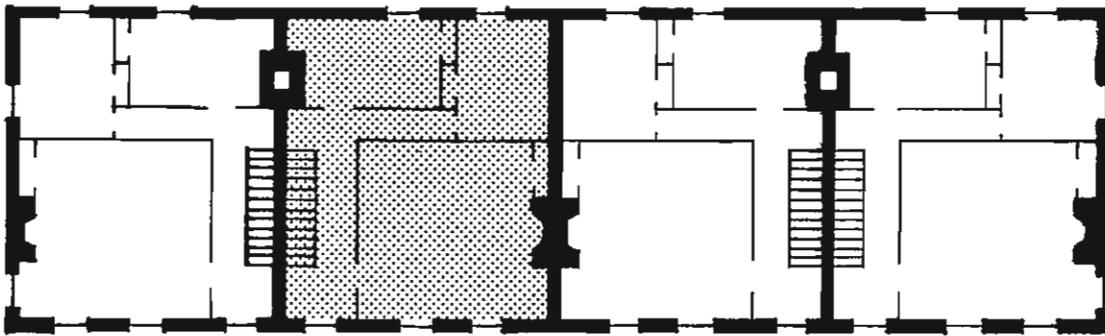
OVERSEERS HOUSES  
FRONT ELEVATION



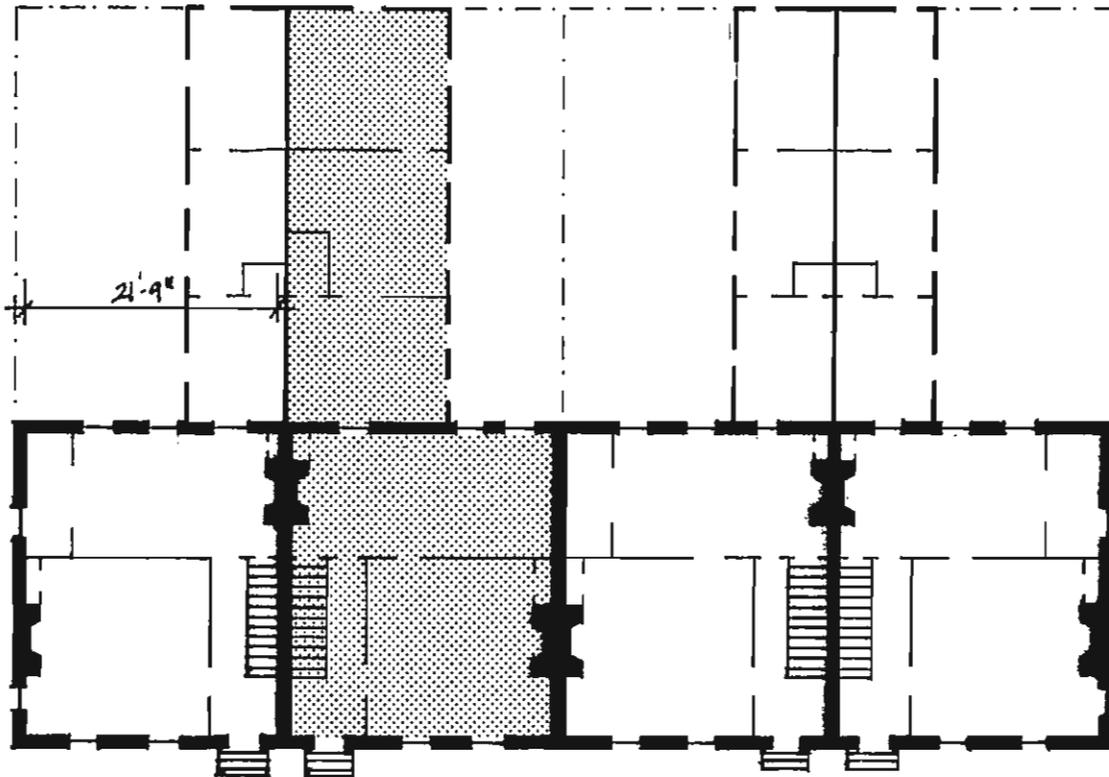
A one-of-a-kind in the District, this late 19th Century building on Market Street is similar to the overseers buildings in plan and massing. Its brick detailing at the cornice and on the chimneys is more decorative and it has segmental arch, rather than granite lintel, windows.



Attic



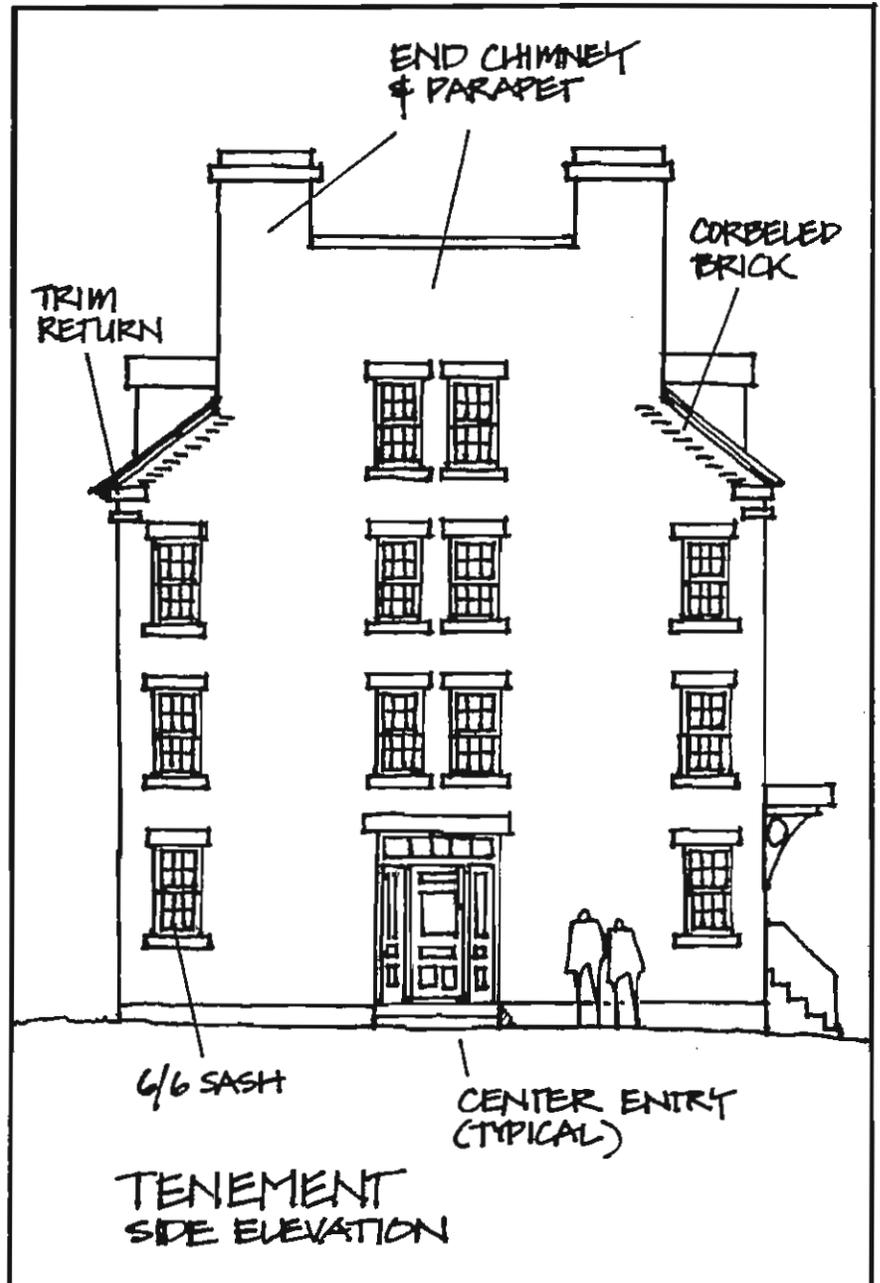
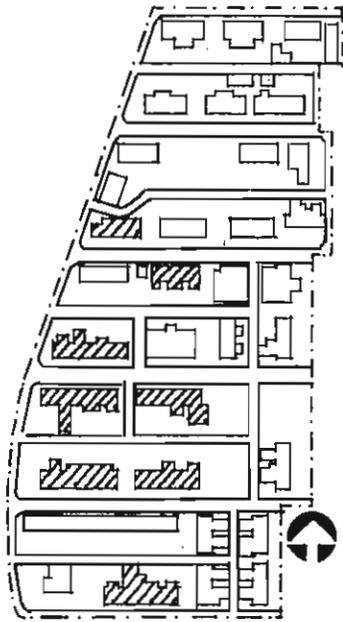
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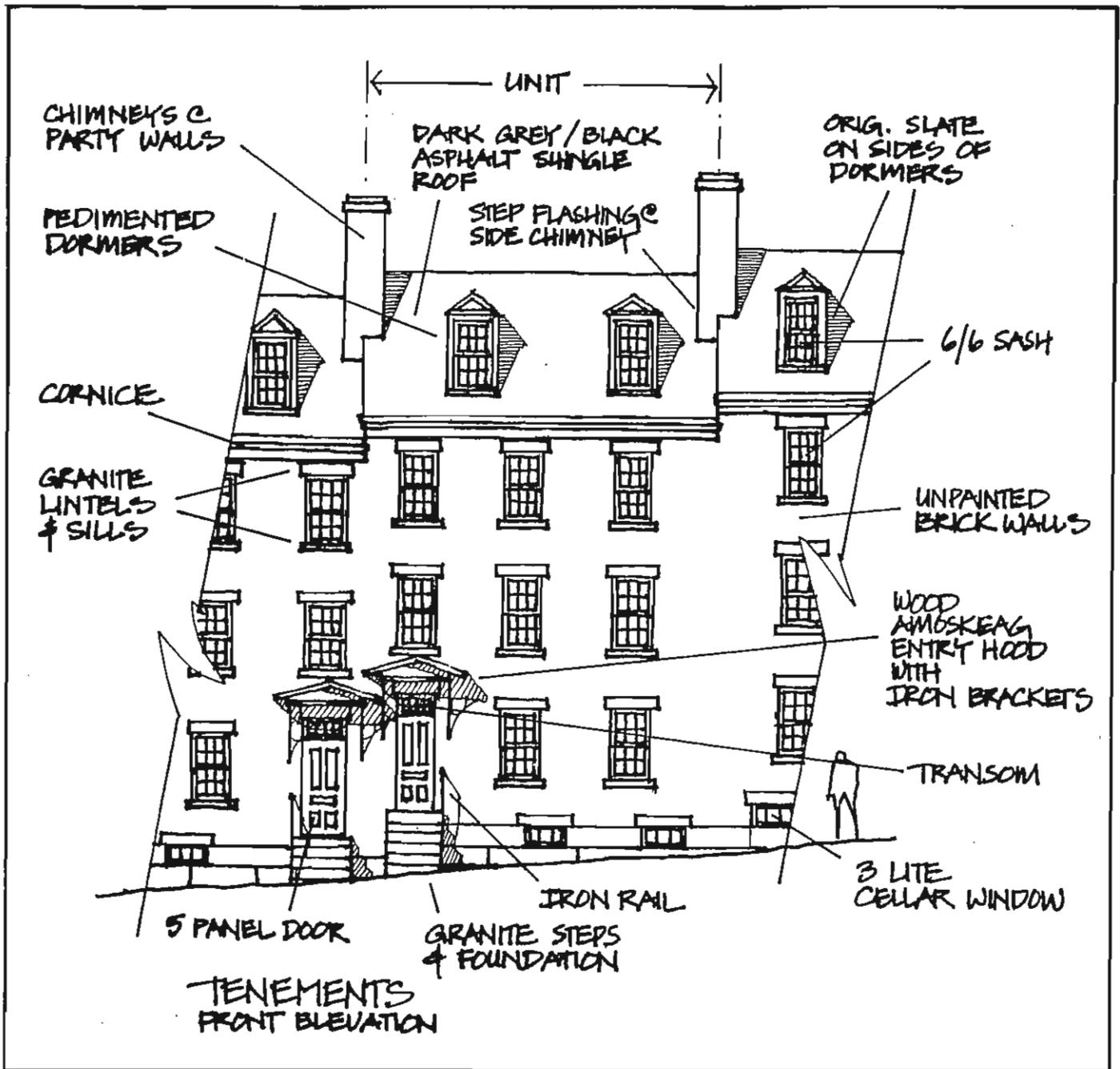


First Floor Plan

Plan of Amoskeag Block #21, overseers houses at the corner of West Merrimack and Franklin Streets. From the records of the Amoskeag Manufacturing Company.

# Tenements



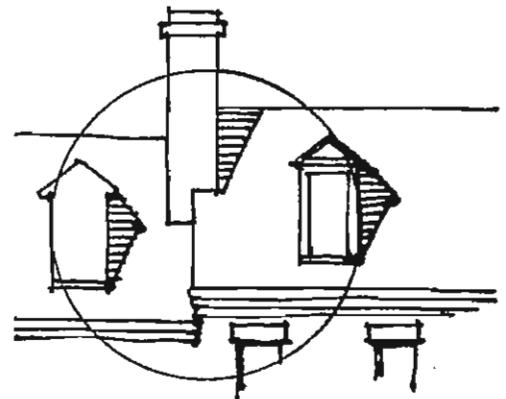


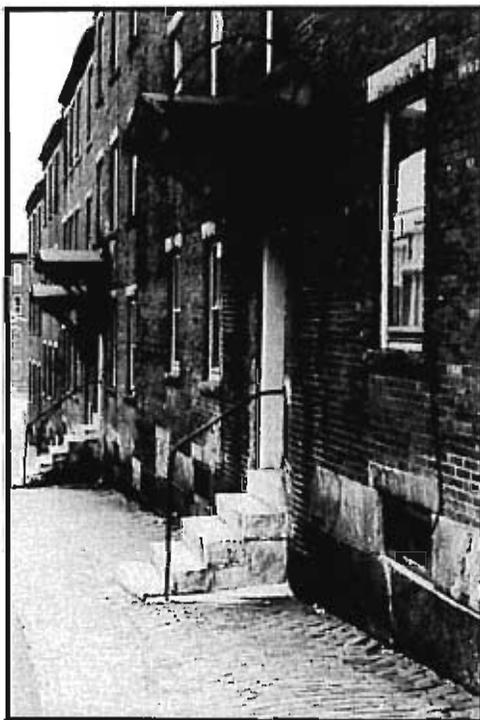
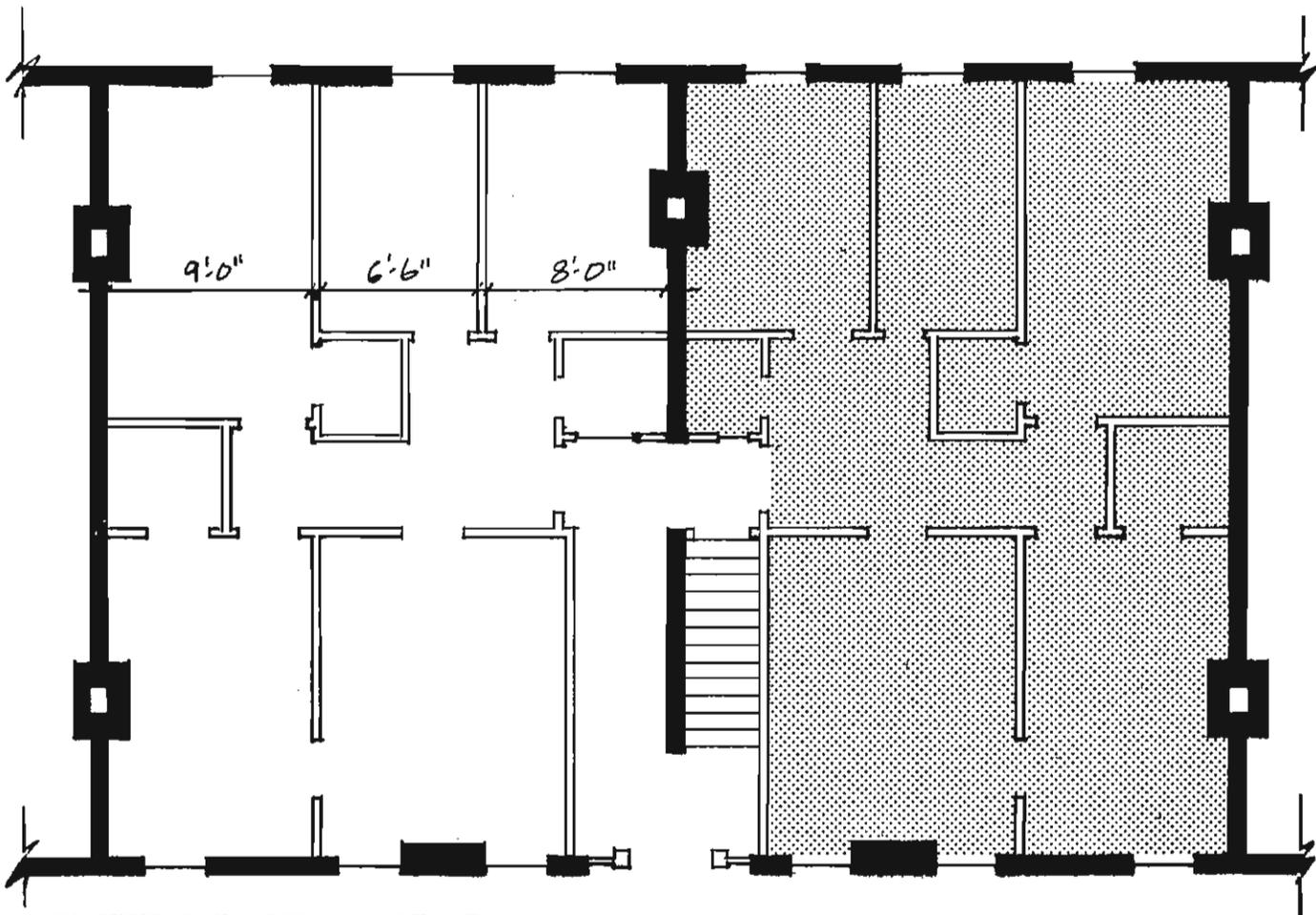
When one thinks of 'The Amoskeag', the image that comes to mind is that of rows of tenement structures stepping in rhythm down the hill from Franklin Street to the Millyards.

Protruding chimneys and dormers, and bracketed entry hoods on each unit reinforce this rhythm.

The urban design quality of Amoskeag streets evokes comparisons to Beacon Hill or other historic environments of exceptional character.

Though each unit (from party wall to party wall)





Tenement entrances along West Merrimack Street. Note the old sign mounted on the edge of the first entry hood.

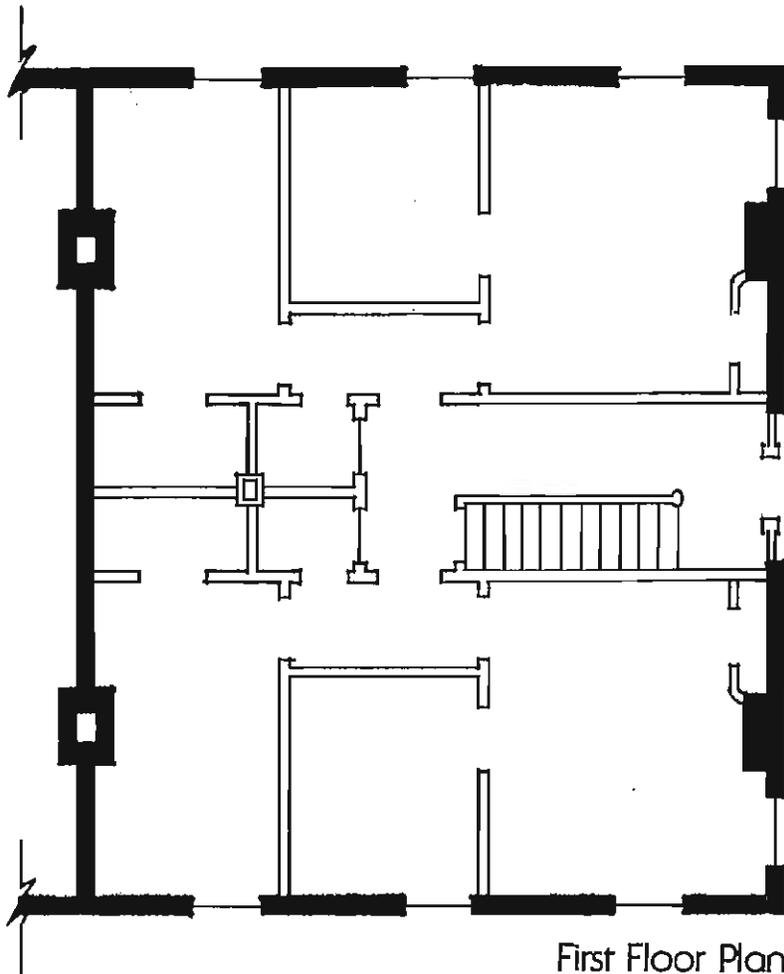
by itself is rather straight-forward in its design - three stories high by three bays wide, with end chimneys and two dormers - the total environment becomes much more than just the sum of its parts because of the repetition of the same details from unit to unit.

Removal of one element on one unit can disrupt the architectural character of the whole block. Original features should not be removed or altered.

This building type predominates in the District. Typical maintenance or rehabilitation actions for these structures are likely to be encountered by numerous property owners. As owners constitute a group with great potential purchasing power for custom-fabricated replacement elements (6/6 sash, for example), replacement of original elements with other than exact replications should never be allowed.

If, for some reason, original elements are removed, these elements should never be discarded but should be stored in safekeeping for neighborhood recycling.

Numbers of tenements have been converted to office or commercial uses on first and, occasionally,



First Floor Plan



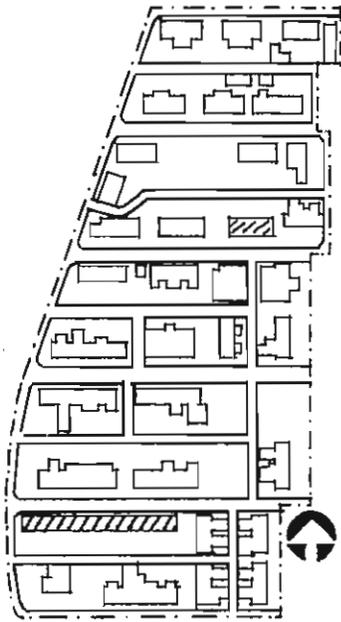
Traditional entrance at narrow end of tenement buildings. Many entries in the District have paired doors. (See Section III for additional examples of original Amoskeag entries and doors.)

upper floors. While there is a desire on the part of commercial tenants to draw attention to their establishments by "eye-catching" alterations, this should not be allowed in the District. When the Amoskeag's historic character is reinforced through preservation and rehabilitation actions (and, it is hoped in the near future, with streetscape improvements), the District itself will be a draw to the public.

Individual commercial signs should be kept small and, in their design and placement on the buildings, in keeping with the Historic District. See page 43 for further thoughts on commercial signs.

# Mansard Tenements

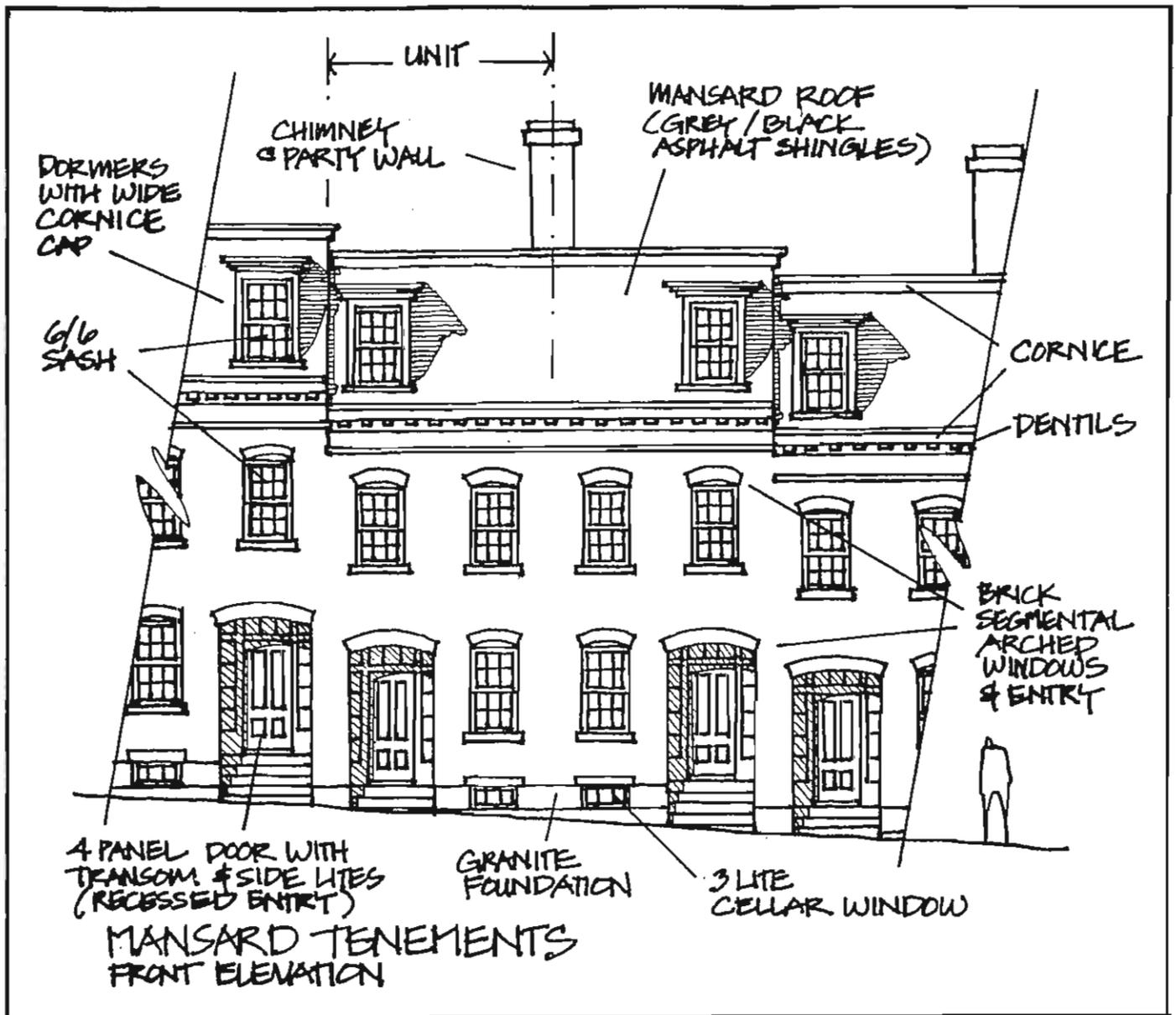
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**MANSARD TENEMENTS  
END ELEVATION**

Tenements along the south side of West Merrimack Street were the last workers' houses built in the District.

Though utilitarian in plan and simply detailed, these buildings acknowledge the architectural tastes of their time (built 1866.) Their mansard roofs were inspired by the then-popular French Second Empire style, commonly known as the 'mansard style'.



This double-pitched ('mansard') roof, with its 'bell-cast' profile, gives the buildings a distinctive 'top' (as do the gable roofs on other tenements.)

Flat-roofed dormers centered over the entries, chimneys (less prominent than on earlier buildings) and entries establish a rhythm of detail repeated from unit to unit along the block facade.

While by 1866 6/6 sash had largely been replaced by 2/2 (or 6/1, 2/1) sash in contemporary construction, the Amoskeag's design conservatism can be detected in their continued use of the 6/6 window sash used on earlier tenements.

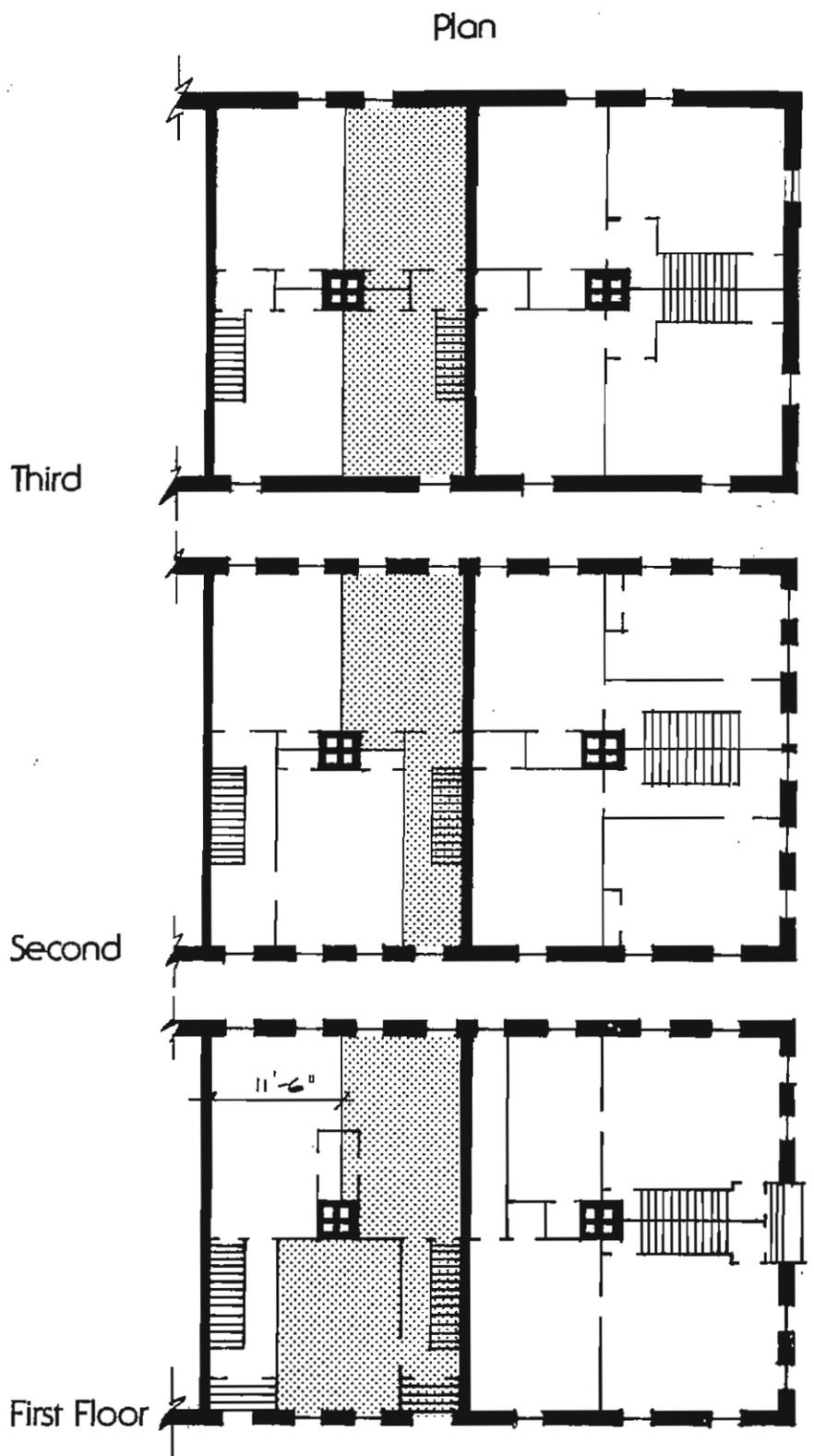
Note the recessed entry affording protection from



Brick detailing and wood cornice at roof edge.



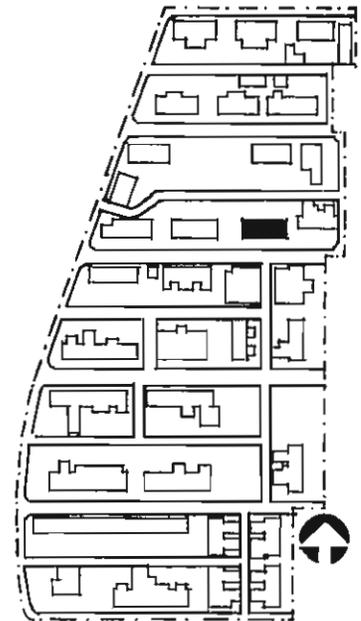
The entry of 118 West Merrimack Street with its original 1866 door, transom, and side lites.





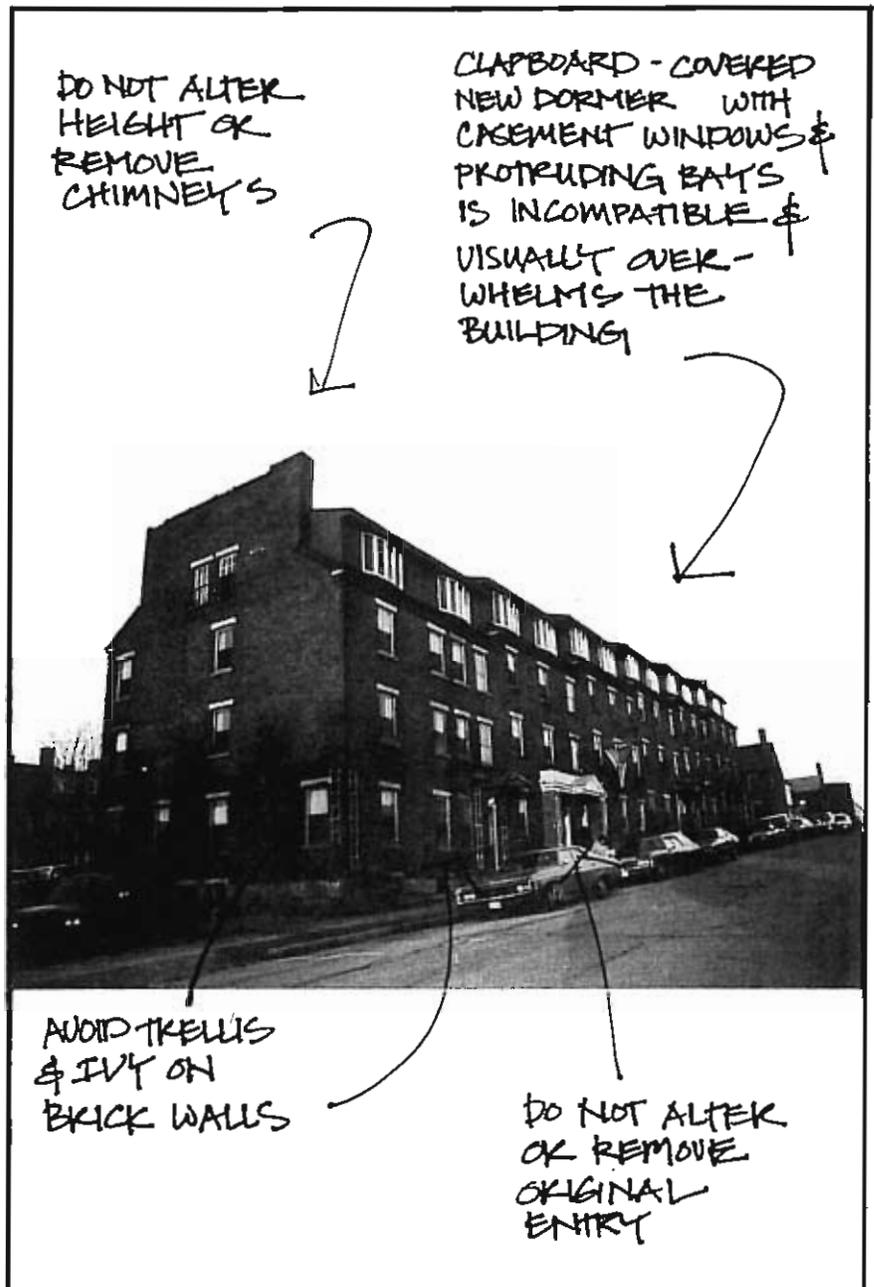
Mansard tenements stepping down the hill along West Herrimack Street.

the weather. (With four-paneled door and transom and side lites.) This entry treatment was probably preferred to the more traditional flush door with hood found on tenements across the street. (The original flush entry with hood of the Stark Mill tenements was altered to the recessed entry type by the Amoskeag sometime after the turn of the Century.)

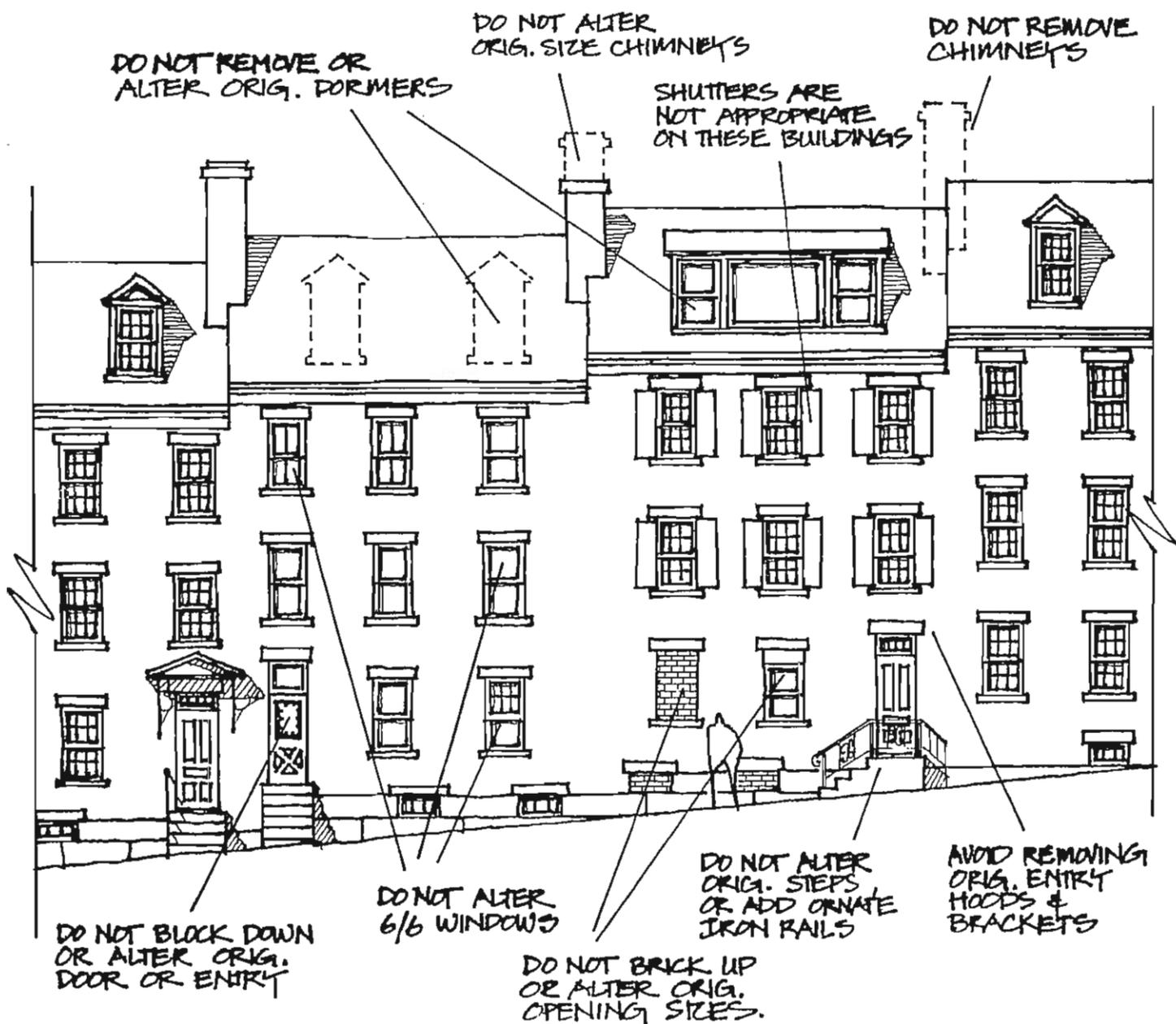


This Market Street building is the only other building with a mansard roof in the District. Originally a tenement, the structure was enlarged and converted to a girls boarding house in 1872.

# Renovation Actions To Avoid



Tenements along Pleasant Street. Though well-maintained, these buildings have been extensively altered and have lost much of their original character. If additional light and room is required, dormer additions should be considered for the rear of buildings only, never the front facade. The casement bow windows seen here should be avoided on all Amoskeag buildings.

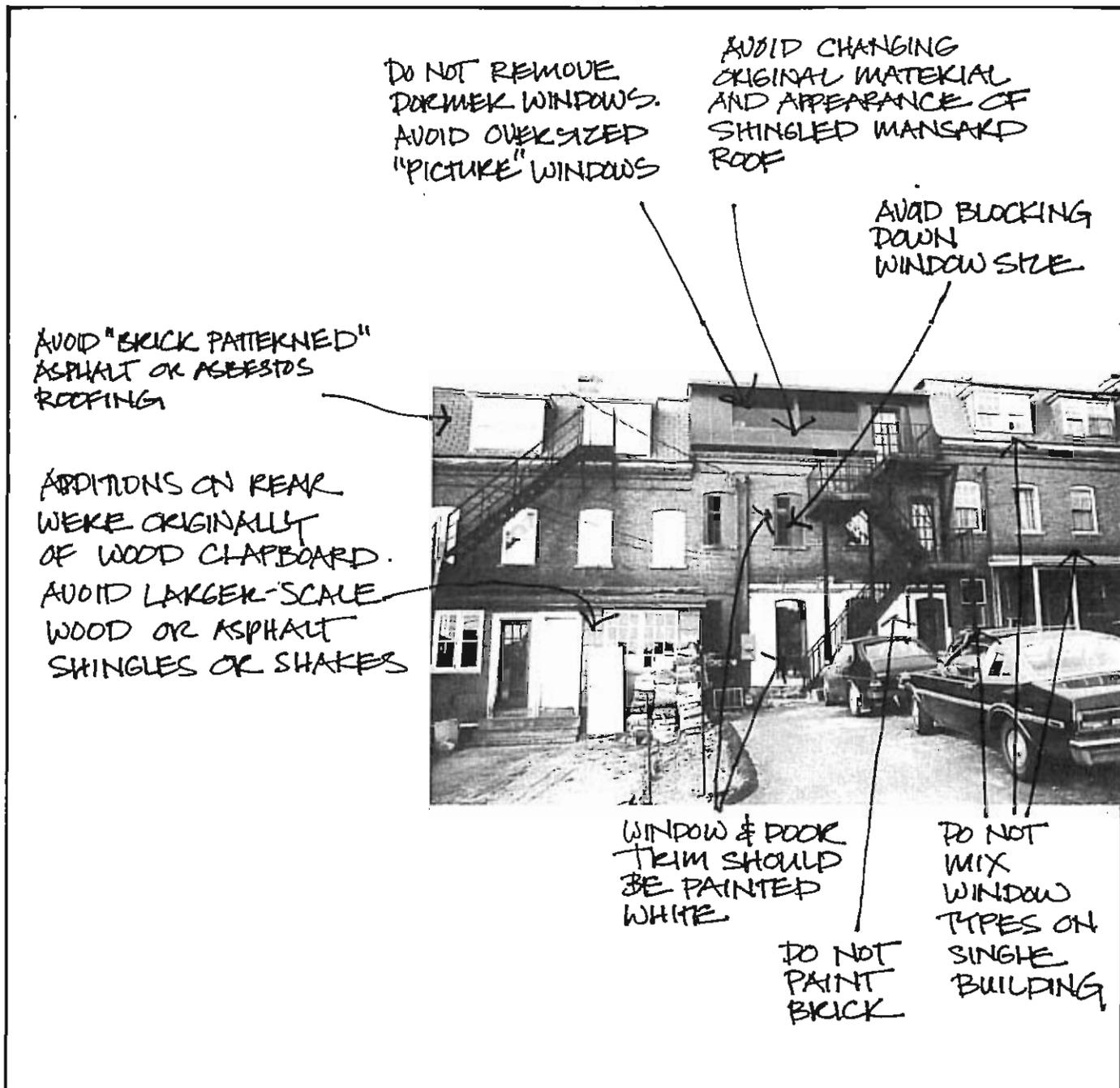


Amoskeag structures were not built as high-style architecture. They were constructed as utilitarian, simply-planned and detailed workers housing.

Fortunately the Amoskeag Manufacturing Corporation chose to build in the most durable and maintenance-free materials: brick and granite.

While the detail on the buildings is limited in variety, it is elegant in its classic simplicity. The buildings' handsome appearance stems from a handful of elements: doors, brackets, hoods, 6/6 windows, roof dormers and chimneys. To retain the historic and architectural integrity of the buildings it is essential to retain these design features.

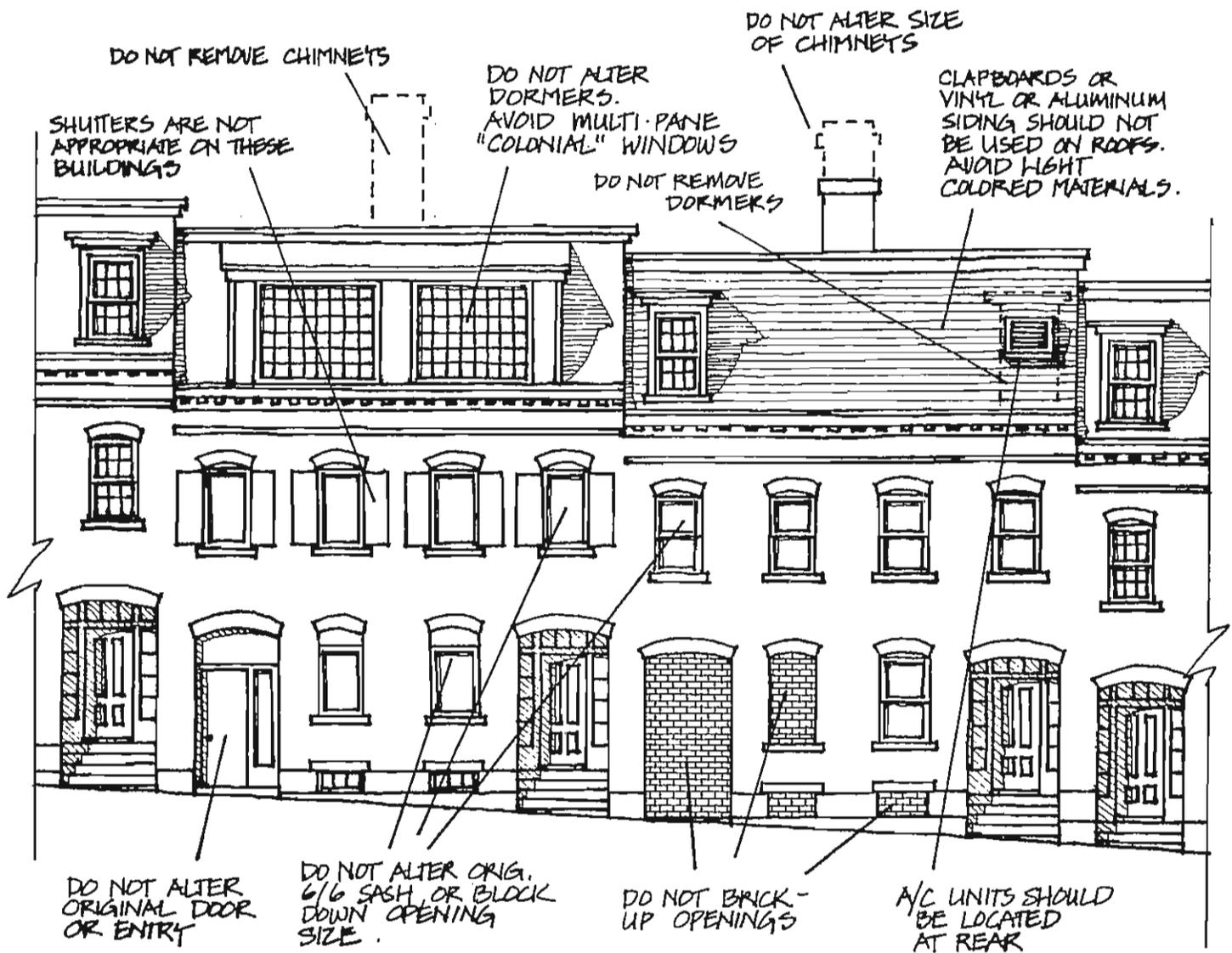
Renovation actions illustrated above should be avoided on all Amoskeag buildings. (Exception: shutters are appropriate on overseers houses.) Irreversible actions should be avoided at all costs; such as removal of dormers or chimneys, or bricking-in of openings.



Design similarity of the rears of individual units is an important architectural consideration in the Historic District. Actions to remove, or disrupt, original elements should be avoided.

Often times owners will argue for changing original features on the basis of cost; that some modern material will be "cheaper". This is usually not so.

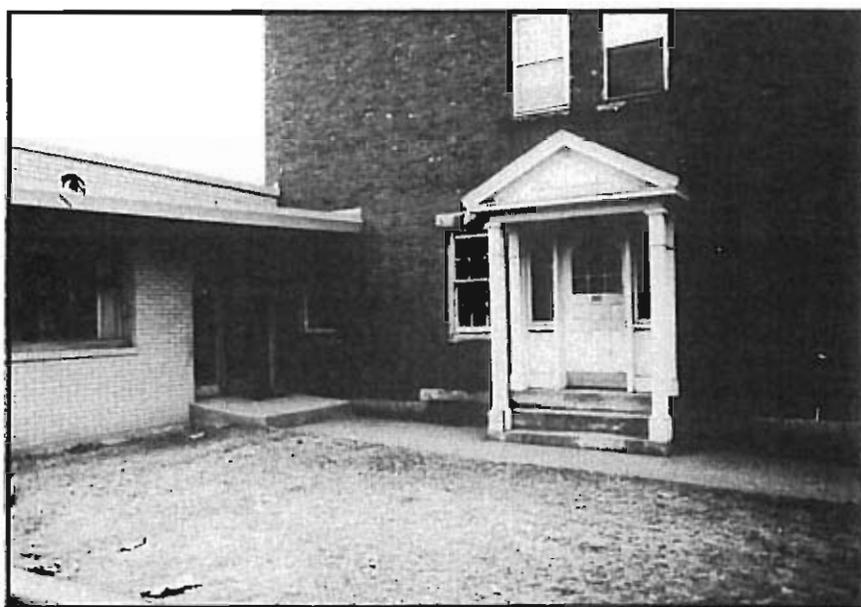
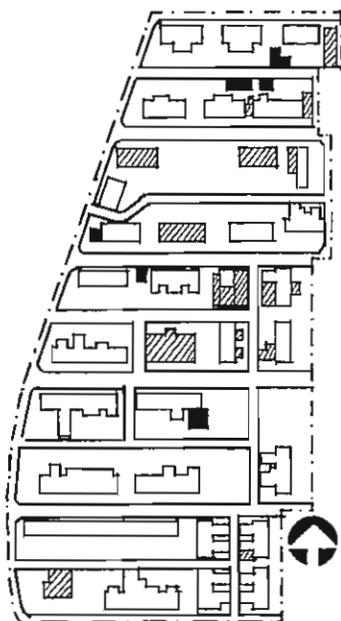
If you have original features which are deteriorated to a state requiring replacement, consider this: The deteriorated material has probably lasted a hundred and twenty-five years! Chances are if the material is replicated exactly like the original and installed with the same careful workmanship it will last another century.



This Secretary of the Interior's "Standard" bears repeating: "Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities."

# A Note on New Construction

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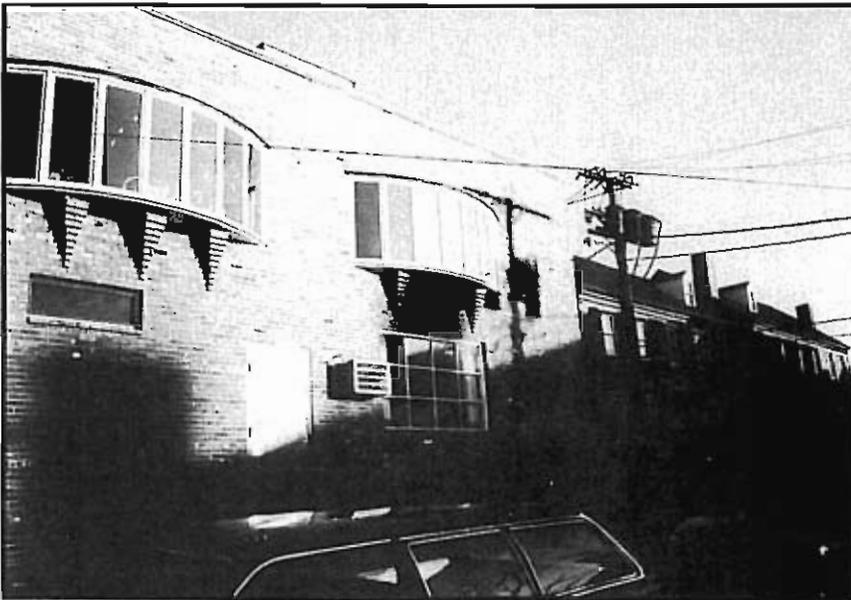
The map identifies new construction in the District. A few buildings (shown in black) are visually incompatible, and their demolition should be considered.





Photos opposite page: (top) A new one-story building of yellow brick insensitively jammed into an Amoskeag tenement. (bottom) The windows and strange roof on this small building create an appearance which is alien to the District.

New structure in the District. Amoskeag buildings have a distinct 'top', and always orient their major entry towards the street or thru-alley. With minor changes this building could have been designed to be more sympathetic to its historic neighbors.



Multi-paned or casement bow windows, seen here on an addition in the District, are not compatible with Amoskeag buildings. Again, a defined 'top' to the building is missing.

#### SECRETARY OF THE INTERIOR'S STANDARDS : NEW CONSTRUCTION

##### Recommended

Keeping new additions and adjacent new construction to a minimum, making them compatible in scale, building materials, and texture.

Designing new work to be compatible in materials, size, color, and texture with the earlier building and the neighborhood.

Using contemporary designs compatible with the character and mood of the building or the neighborhood.

##### Not Recommended

Designing new work which is incompatible with the earlier building and the neighborhood in materials, size, scale, and texture.

Imitating an earlier style or period of architecture in new additions, except in rare cases where a contemporary design would detract from the architectural unity of an ensemble or group. Especially avoid imitating an earlier style of architecture in new additions that have a completely contemporary function such as a drive-in bank or garage.

The former American Legion Sweeney Post. This is a handsome renovation. The use of brick and granite, materials characteristic to the area, and the creation of a visual 'top' by a change in brick detailing, are sensitive features.



Detail of a brick addition to an Amoskeag building. Note that the brick pattern has been matched, but that the color of the brick and mortar does not match. Additions to buildings are probably best constructed of materials which make it obvious the addition is new.



Recommended

Protecting architectural details and features that contribute to the character of the building.

Placing television antennae and mechanical equipment, such as air conditioners, in an inconspicuous location.

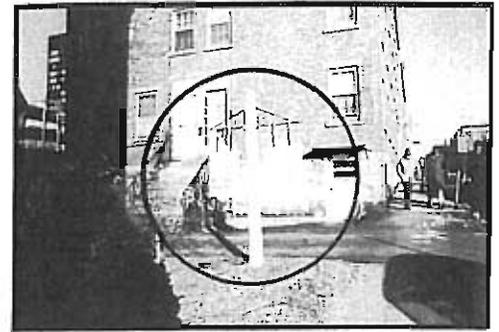
Not Recommended

Adding new height to the building that changes the scale and character of the building. Additions in height should not be visible when viewing the principal facades.

Adding new floors or removing existing floors that destroy important architectural details, features and spaces of the building.

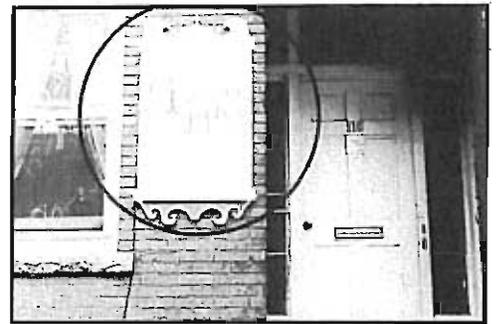
Placing television antennae and mechanical equipment, such as air conditioners, where they can be seen from the street.

# A Note on Signs



It is common for residential historic districts to develop into lively commercial areas, particularly when the district lies within a downtown. This trend is evident in the Amoskeag and is likely to accelerate.

Offices and quiet, service-oriented commercial uses are appropriate for the District. But, as commercial use expands, new guidelines to control signage will be needed to protect the character of the area. A new Sign Ordinance specifically tailored to the unique conditions of the Amoskeag would be the most effective way to discourage obtrusive signs.



Sign sizes are usually determined by some allowable square footage per linear foot of building frontage. This method is appropriate in commercial areas where each store exhibits a flat sign the full building width. The method is, however, not appropriate in an historic residential environment.



It might be appropriate to limit allowable sign size per commercial tenant.

An ordinance should specify allowable locations for signs. (Flat signs on the wall next to the entry, or free-standing pole-mounted hanging signs. Small wall-mounted projecting wooden signs might also be acceptable).



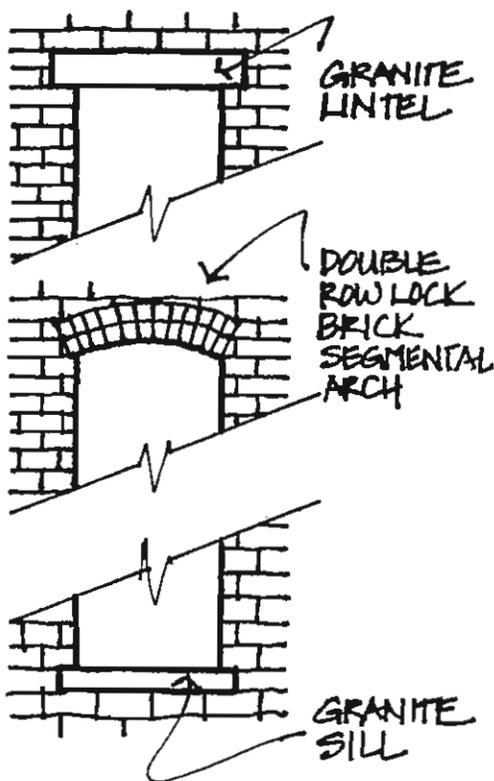
The ordinance should specify the type of signs allowed. Self-illuminated signs should be prohibited. Signs which have nothing to do with the District, such as signs identifying businesses on Elm Street or other off-premises signs, should not be allowed.

The most appropriate sign for the District is a small wooden sign with dark background and light-colored lettering.

### III.

## Standards for Rehabilitation:

# MASONRY



Granite and brick arches and sills found on Amoskeag buildings. Both handsome and durable, these features should always be retained.

"The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken."

Secretary of the Interior's Standard

Brick masonry is the principal structural system used throughout the District. Steps, foundations, lintels and window sills are granite.

Granite is by far the hardest of building stones, and is extremely resistant to wear. Although it is an expensive stone to cut and finish, the cost can be justified on the basis of performance. Where, for example, concrete steps will deteriorate quickly, granite steps will last as long as the mortar between blocks is maintained.

Brick is a man-made artificial 'stone' created by firing of consolidated clay.

Repointing is vital to masonry walls, for it is the mortar which keeps out the rain. This job is best left to professionals, the following standards adhered to.

1. No mortar of a mixture stronger than 1 part cement to 2 parts lime to 7-9 parts sand should be used.
2. Mortar used for spot pointing should match the original color of the existing mortar as determined from a sample taken from behind the surface of the mortar. It may be surface treated with a pigment solution which will darken it to match the present aged or weathered mortar color.

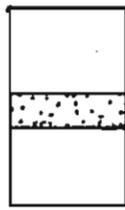
# HOW TO REPOINT :



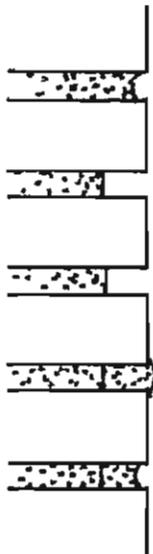
NO



YES



APPROX.  
1/8"



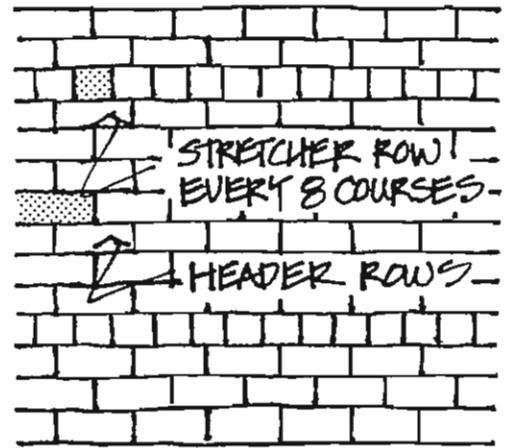
DETERIORATED MORTAR

REMOVE 3/4" OF CRUMBLING MORTAR

CLEAN JOINT, THEN WET MORTAR & BRICKS

ADD NEW MORTAR

MATCH SHAPE OF ORIGINAL JOINT



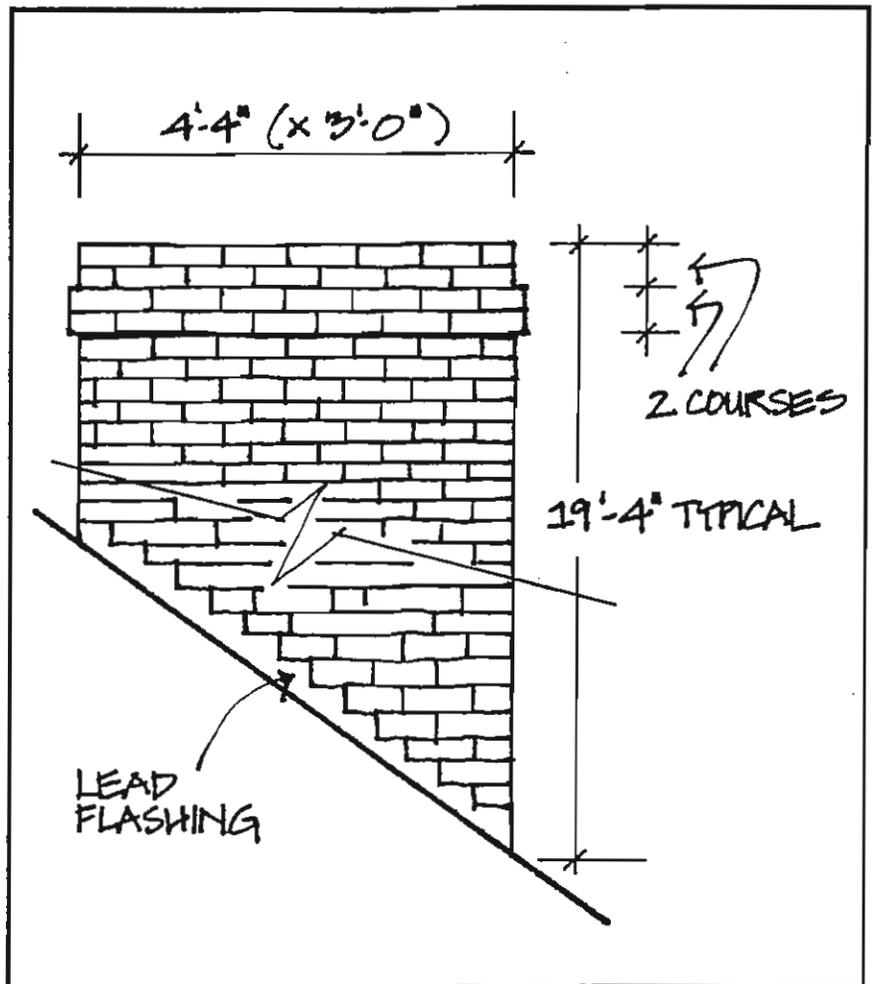
## AMERICAN COMMON BOND

The brick pattern found on Amoskeag buildings : 'American Bond'.

Repointing , or 'tuck-pointing', brick walls or granite foundations and steps is a job best left to professionals.



Looking carefully at this wall, one can detect openings which have been bricked in. New mortar was improperly matched in color to the old mortar.



The similar shape and height of chimneys are an important feature of the District. Top projection, shape and height should not be altered.

3. Mortar used for total facade repointing should match the original color of the mortar used when the building was built, or it should match aged or weathered mortars in evidence on adjacent buildings.

AMOSKEAG BRICK BUILDINGS SHOULD NEVER BE PAINTED.

Once a brick building has been painted it is very difficult to remove the paint; some experts may even advise against removing paint once it is on as it may damage the brick surface and leave it dangerously exposed to the weather.

Removing paint from a brick building is a job for an expert; a preservation expert. See Section V for professional sources of assistance .

SECRETARY OF THE INTERIOR'S STANDARDS: MASONRY

Recommended

Retaining original masonry and mortar, whenever possible, without the application of any surface treatment.

Repointing only those mortar joints where there is evidence of moisture problems or when sufficient mortar is missing to allow water to stand in the mortar joint.

Duplicating old mortar in composition, color, and texture.

Duplicating old mortar in joint size, method of application, and joint profile.

Cleaning masonry only when necessary to halt deterioration or to remove graffiti and stains and always with the gentlest method possible, such as low pressure water and soft natural bristle brushes.

Repairing or replacing, where necessary, deteriorated material with new material that duplicates the old as closely as possible.

Replacing missing significant architectural features, such as cornices, brackets, railings, and shutters.

Retaining the original or early color and texture of masonry surfaces.

Not Recommended

Applying waterproof or water repellent coatings or surface consolidation treatments unless required to solve a specific technical problem that has been studied and identified. Coatings are frequently unnecessary, expensive, and can accelerate deterioration of the masonry.

Repointing mortar joints that do not need repointing. Using electric saws and hammers to remove mortar can seriously damage the adjacent brick.

Repointing with mortar of high Portland cement content can often create a bond that is stronger than the building material. This can cause deterioration as a result of the differing coefficient of expansion and the differing porosity of the material and the mortar.

Repointing with mortar joints of a differing size or joint profile, texture or color.

Sandblasting, including dry and wet grit and other abrasives, brick or stone surfaces; this method of cleaning erodes the surface of the material and accelerates deterioration. Using chemical cleaning products that would have an adverse chemical reaction with the masonry materials, i.e., acid on limestone or marble.

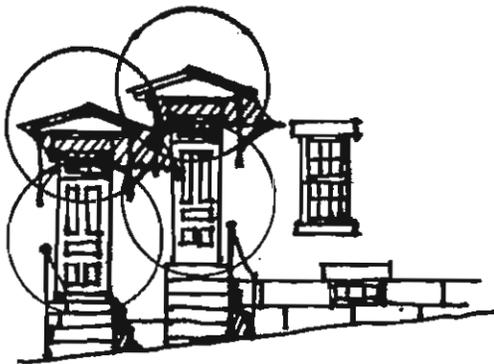
Applying new material which is inappropriate or was unavailable when the building was constructed, such as artificial brick siding, artificial cast stone or brick veneer.

Removing architectural features such as cornices, brackets, railings, shutters, window architraves, and doorway pediments.

Removing paint from masonry surfaces indiscriminately. This may subject the building to damage and change in its appearance.

# Standards for Rehabilitation: WOOD

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Original wood paneled doors and entry hoods are hallmarks of the Historic District. They should never be discarded.

In the Amoskeag, as elsewhere, wood was historically the predominant material for window, entry hoods and trim, cornices and dormers as well as the structural and siding material used on rear eills.

Deteriorated or missing woodwork details on historic facades are often not repaired or reproduced because owners have little realization that existing original woodwork is a valuable, reclaimable resource.

Old and badly peeling siding on eills or siding which has been covered with asphalt shingles is seldom in as deteriorated a state as owners think (or as synthetic siding salespersons would like them to think.) Often, repair or restoration is competitive in cost with removal and redesign.

As wood is a porous material, a good coat of paint is essential to extend its lifetime.

It is particularly important that wood elements be designed to quickly shed rain and snow. Amoskeag detailing sheds water efficiently. Don't tamper with it.

Refer to the following sections for additional information on Amoskeag wood details:

DORMERS	pg. 52
ENTRANCES	pg. 54
DOORS, WINDOWS & SHUTTERS	pg. 62
PAINT COLORS	pg. 69
ELLS & PORCHES	pg. 72
FENCES	pg. 78

SECRETARY OF THE INTERIOR'S STANDARDS: WOOD

Recommended

Retaining and preserving significant architectural features, wherever possible.

Repairing or replacing, where necessary, deteriorated material that duplicates in size, shape, and texture the old as closely as possible.

Retaining porches and steps that are appropriate to the building and its development. Porches or additions reflecting later architectural styles are often important to the building's historical integrity and, wherever possible, should be retained.

Not Recommended

Removing architectural features such as siding, cornices, brackets, window architraves, and doorway pediments. These are, in most cases, an essential part of a building's character and appearance that illustrate the continuity of growth and change.

Resurfacing frame buildings with new material that is inappropriate or was unavailable when the building was constructed such as artificial stone, brick veneer, asbestos, or asphalt shingles, and plastic or aluminum siding. Such material can also contribute to the deterioration of the structure from moisture and insects.

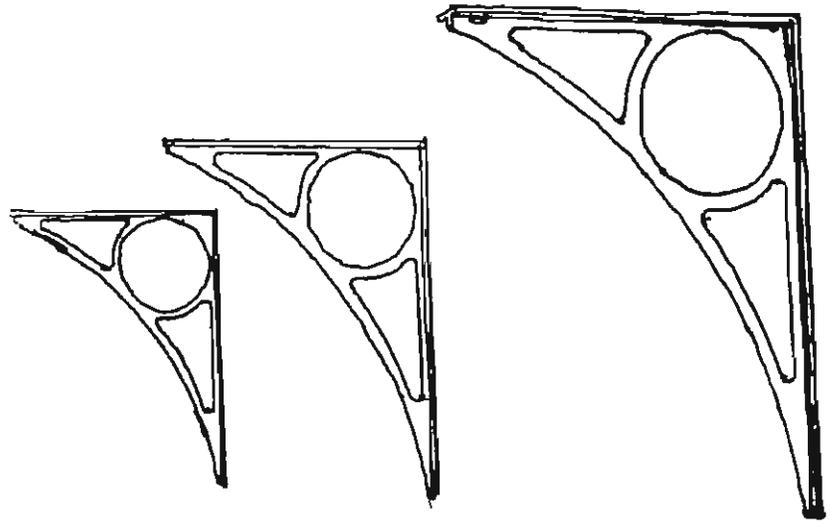
Removing or altering porches and steps that are appropriate to the building's development and style.

Stripping porches and steps or original material and architectural features, such as hand rails, balusters, columns, brackets, and roof decoration of wood, iron, cast iron, terra cotta, tile and brick.

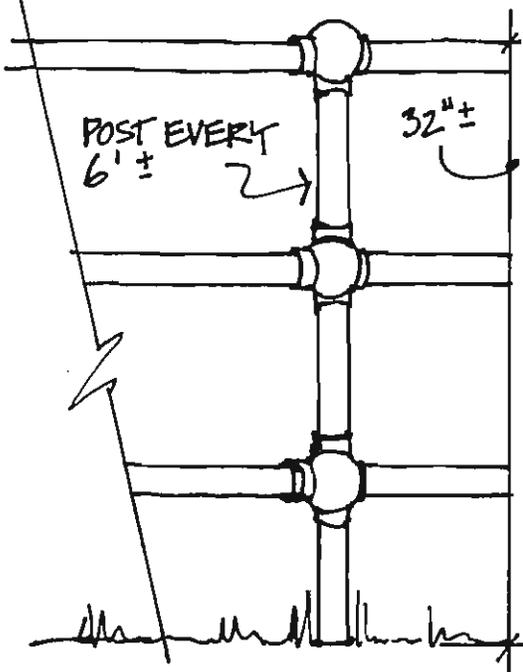
Enclosing porches and steps in a manner that destroys their intended appearance.

# Standards for Rehabilitation: METALS

The Amoskeag iron bracket. Replacements can be purchased through Micheal B. Ingram Architects, Manchester, N.H.



## AMOSKEAG IRON FENCE:



The traditional Amoskeag Iron fence found in the District, and in slightly different form, originally within the Millyards.

Major architectural metal elements found in the Amoskeag include: cast iron entry hood brackets; cast or wrought iron hand rails and fences; iron or steel plate door hardware including bell ringers, letter slots and building numbers; flashing; and on the overseers houses, flag pole and shutter hardware.

Before the advent of steel, first commonly available as a construction material at the end of the 19th Century, cast and wrought iron were used.

Wrought iron is hammered to final shape while it is hot. Cast iron is made by pouring molten iron into moulds, and then cooled.

Cast iron is very brittle and difficult to repair. The current cost of ironwork makes it well worth taking care of remaining historic iron elements.

As iron is susceptible to rust, it must be kept well-painted (with rust-inhibiting paint) at all times.



A common cause of deterioration of iron brackets, stair rails and fences is the rusting of the iron clips or bolts with which the pieces are fastened to wood or masonry. These fasteners should be checked and replaced if necessary with stainless steel fasteners (painted black for appearance). These repairs are best performed by a reputable ornamental iron installer.



Brackets (left photo) being replaced on a building undergoing renovation. The photo above is of a traditional iron stair rail found on rear porches of tenements along Pleasant Street.

#### SECRETARY OF THE INTERIOR'S STANDARDS : METALS

##### Recommended

Retaining original material, whenever possible.  
Cleaning when necessary with the appropriate method. Metals should be cleaned by methods that do not abrade the surface.

##### Not Recommended

Removing architectural features that are an essential part of a building's character and appearance, illustrating the continuity of growth and change.

Exposing metals which were intended to be protected from the environment. Do not use cleaning methods which alter the color, texture, and tone of the metal.

# Standards for Rehabilitation: ROOFS & DORMERS

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Changes in the configuration of roofs or substitution of roofing materials with inappropriate material can impair the architectural character of Amoskeag buildings.

→ Roofs were originally of solid-color dark grey asphalt shingles. This material should be used today for roofs, and for the sides of dormers where original slates are now gone. Avoid the grey 'blends' which ← are a favorite of roofing contractors as they are not appropriate for Amoskeag buildings.

Dormers should not be removed, altered, or extended. Chimneys should not be altered in height or shape. Retain original roof features.

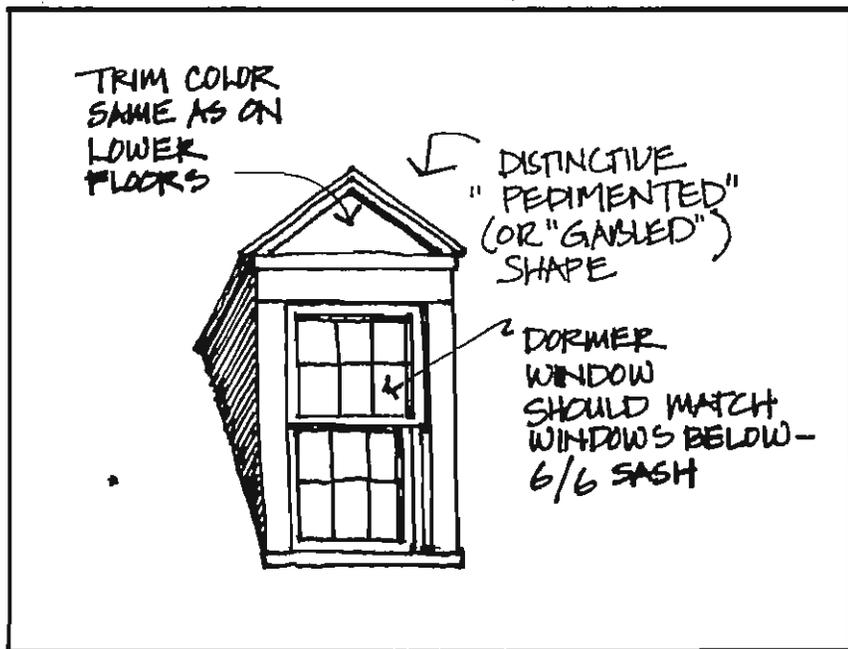
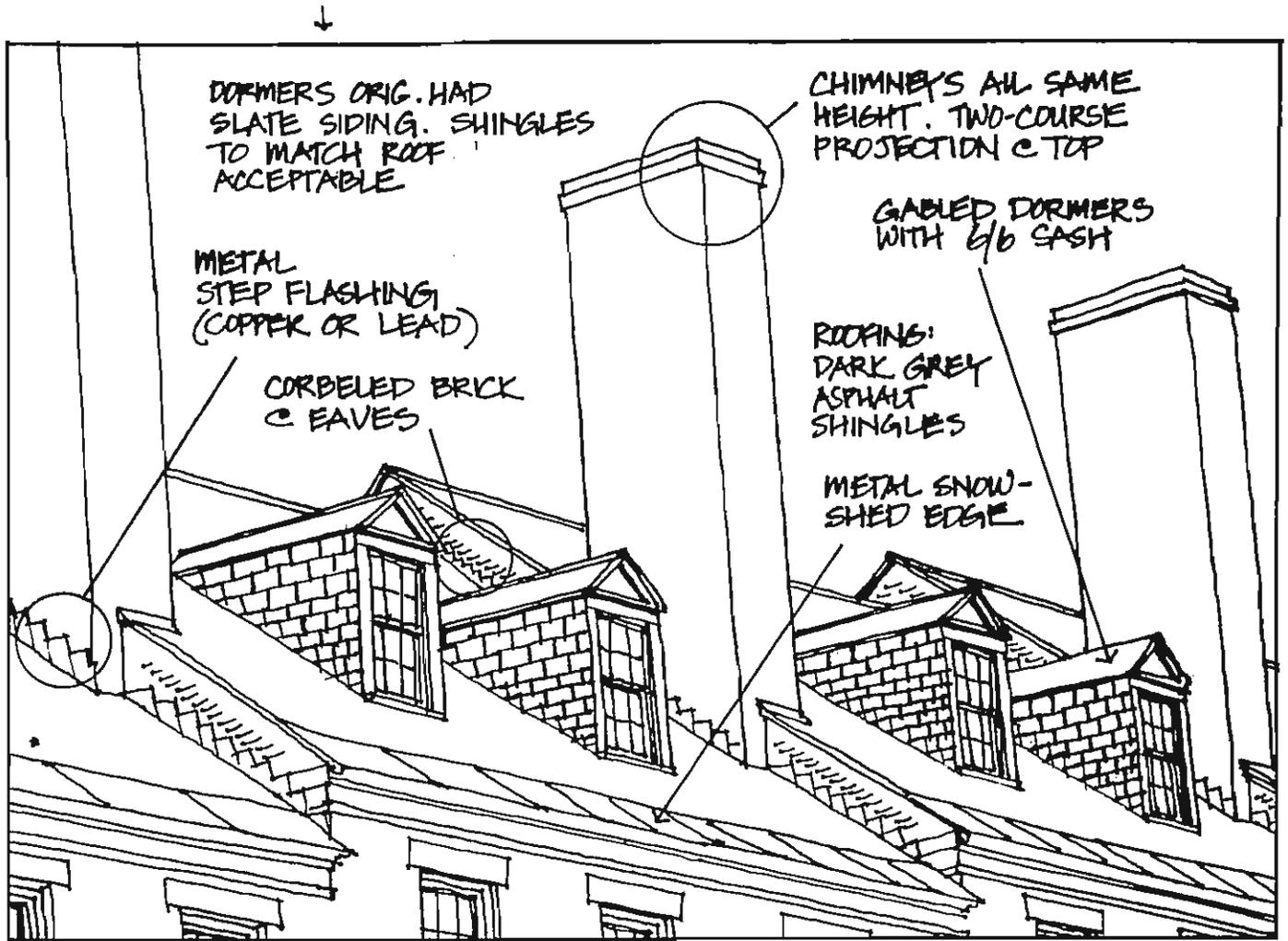
## SECRETARY OF THE INTERIOR'S STANDARDS : ROOFS & DORMERS

### Recommended

- Preserving the original roof shape.  
Retaining the original roofing material, whenever possible.  
Providing adequate roof drainage and insuring that the roofing materials provide a weathertight covering for the structure.
- Replacing deteriorated roof coverings with new material that matches the old in composition, size, shape, color, and texture.  
Preserving or replacing where necessary, all architectural features that give the roof its essential character, such as dormer windows, chimneys, cresting, and weather vanes.

### Not Recommended

- Changing the essential character of the roof by adding inappropriate features such as dormer windows, vents, or skylights.
- Applying new roofing material that is inappropriate to the style and period of the building and neighborhood.
- Replacing deteriorated roof coverings with new ← materials that differ to such an extent from the old in composition, size, shape, color, and texture that the appearance of the building is altered.
- Stripping the roof of architectural features important to its character.



Originally dormer sides were clad with slate shingles. On dormers without slates, asphalt shingles (to match roofing) are an acceptable alternative.

# Standards for Rehabilitation: ENTRANCES

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The entrance of an Amoskeag building is its most important feature. If the building front - 'facade' - is likened to a face, the front entrance is the 'bow tie' - the decorative feature which extends a welcoming greeting to passersby.

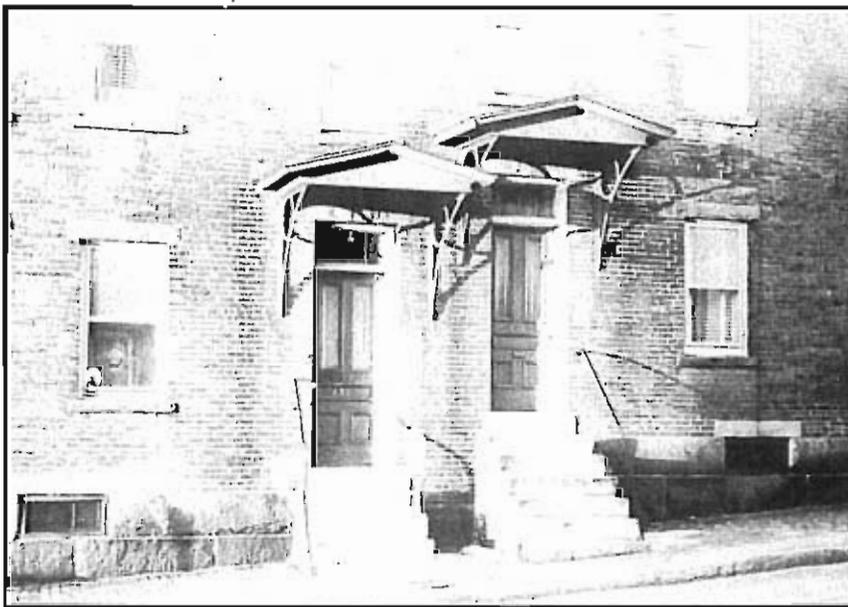
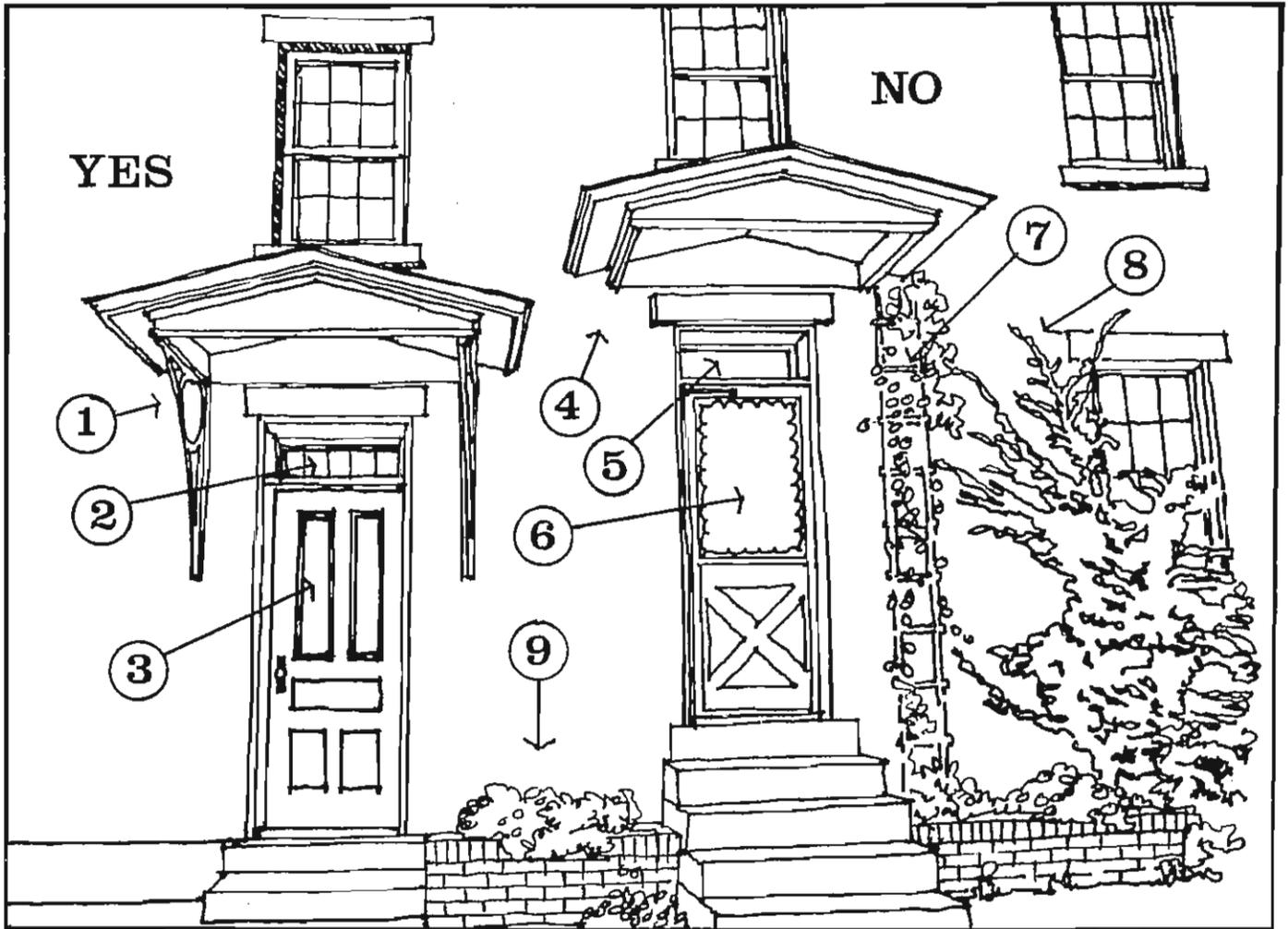
Entrances provide both a physical and psychic 'shelter from the weather' as one enters. They should be retained and maintained for the important function they fulfill.

The repetitive rhythm of similar entries from unit to unit in a given block is an essential design feature of the District. Removing, or altering an entrance can spoil the historic and architectural character of the whole block, and should not be allowed.

The classic Amoskeag entry, which prior to c.1860 was found on most Amoskeag buildings, consists of the following:

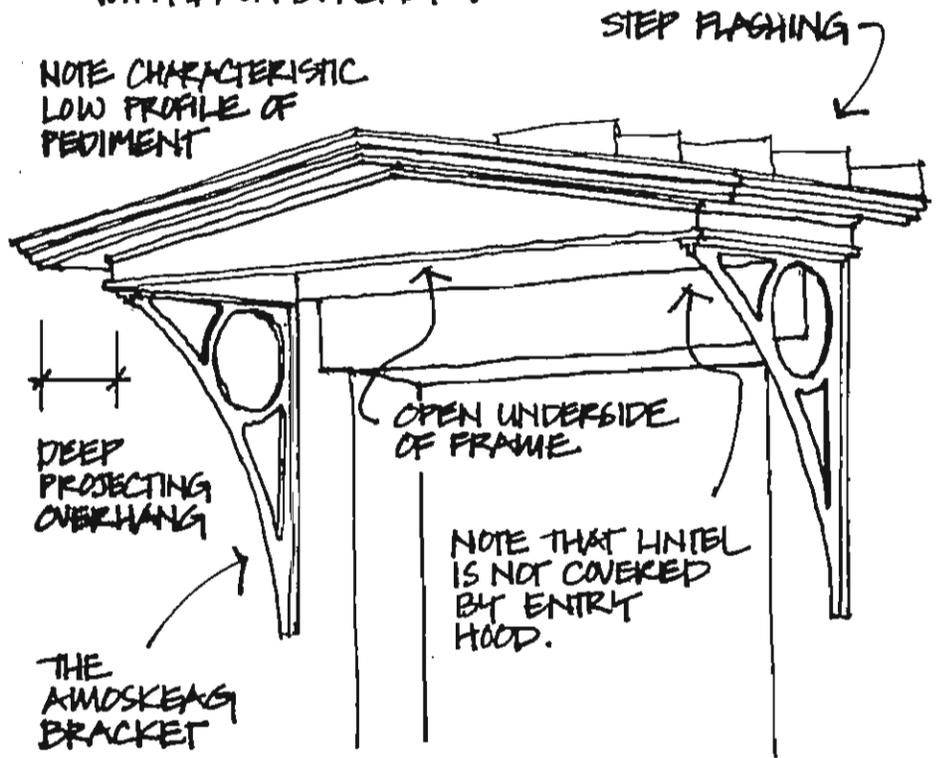
- five-panel wood door (some with lites in the upper two panels). Usually with letter slot bell ringer, and building number.
- transom, with four or five lites
- granite door lintel and entry steps
- wood Amoskeag hood of low-profile triangular pediment with wide projecting top overhang.
- cast iron hood brackets
- wrought iron stair rail

This Amoskeag entry is classic in its simplicity of design and function. Entries do not need to be 'embellished'!

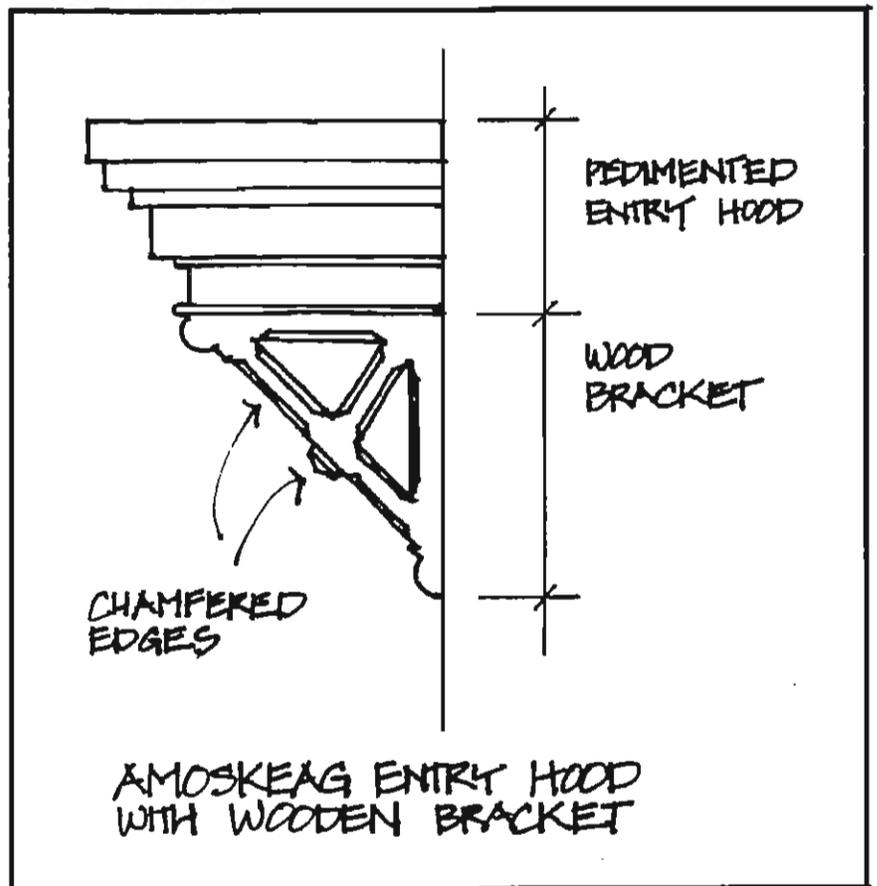


1. Original Amoskeag bracket
2. Five-lite transom
3. Five-paneled door
4. Bracket removed
5. Transom altered
6. Inappropriate 'Colonial' storm door
7. Trellis at entrance is visually too 'busy'.
8. Ivy overwhelms entry, and can damage brick and mortar.
9. Brick planters mar the original design simplicity of the building and entrance, and should be avoided.

THE AMOSKEAG ENTRY HOOD  
WITH IRON BRACKET:



Design details of the traditional Amoskeag pedimented entry hood.



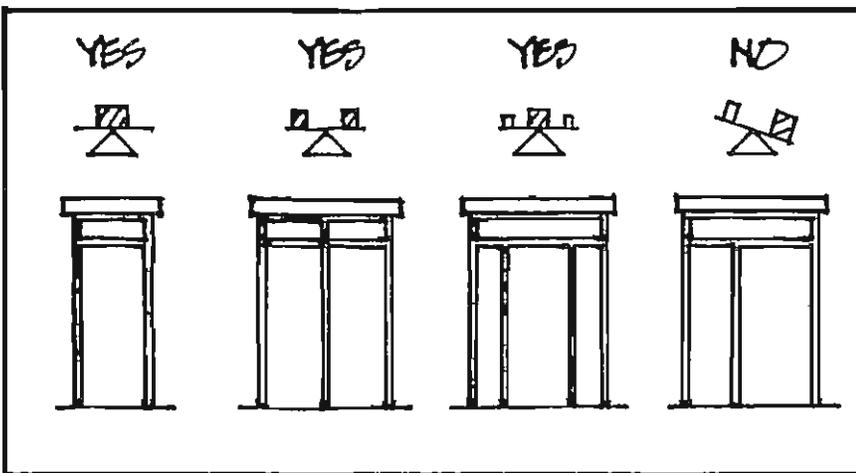
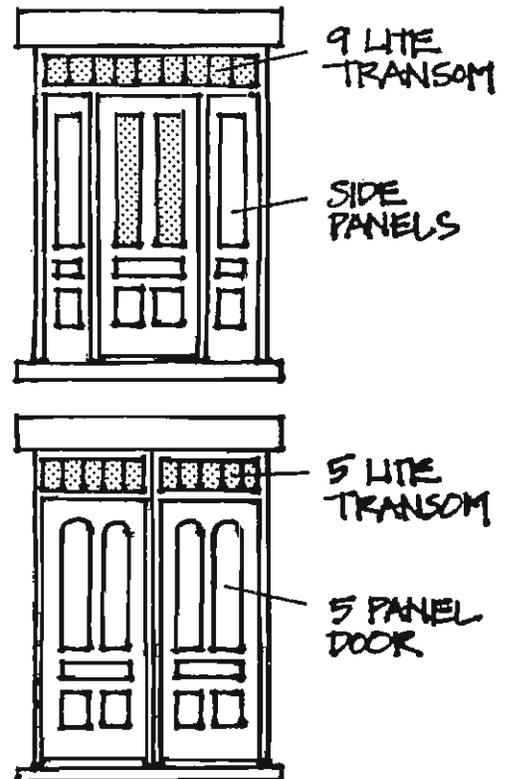
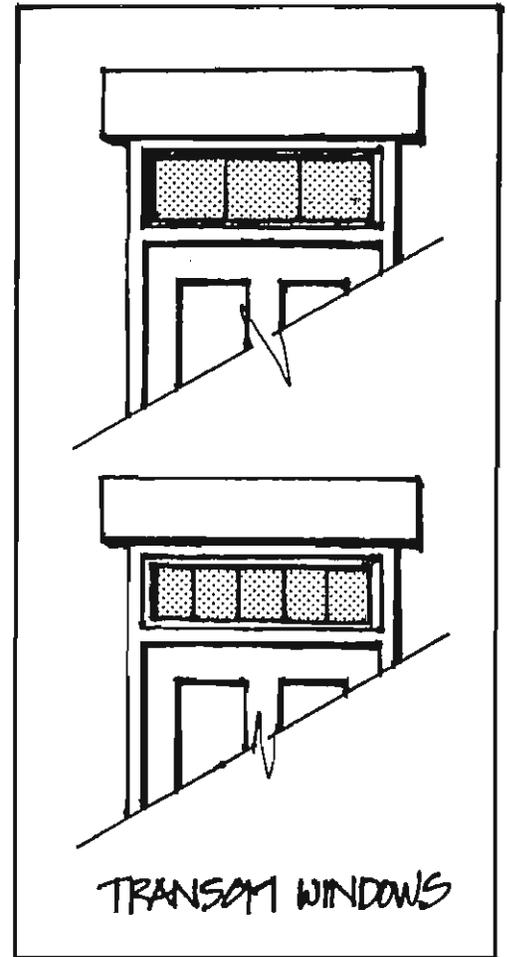


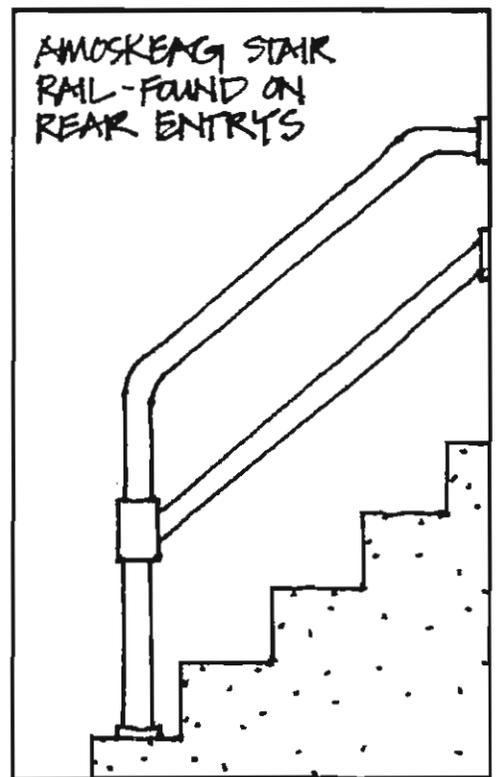
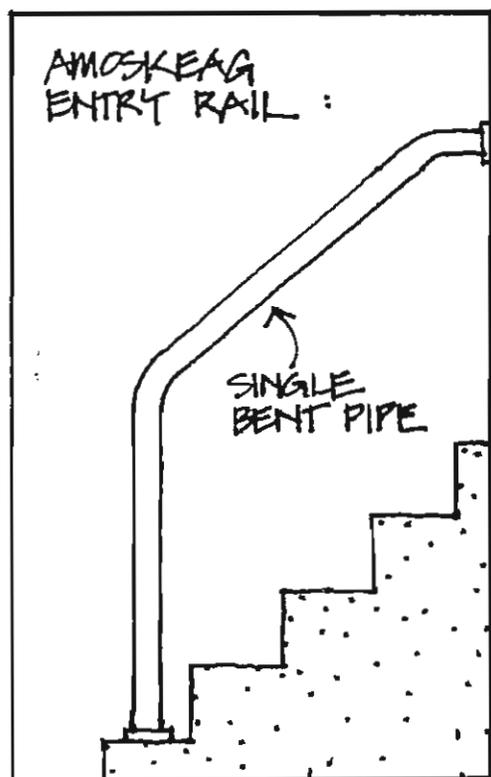
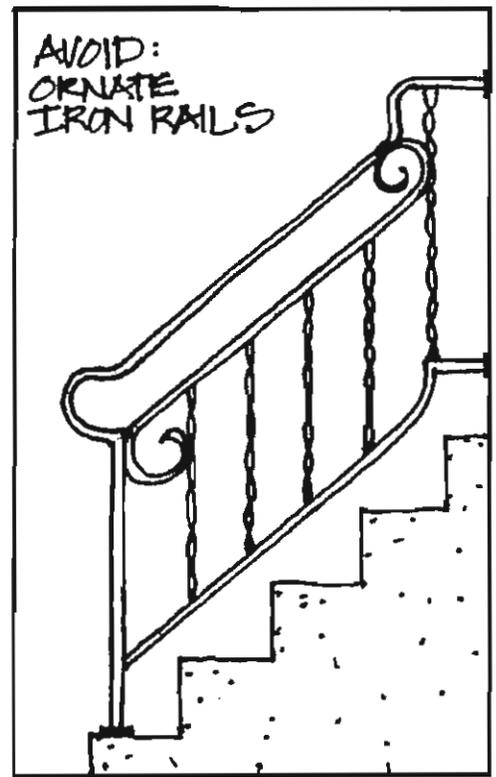
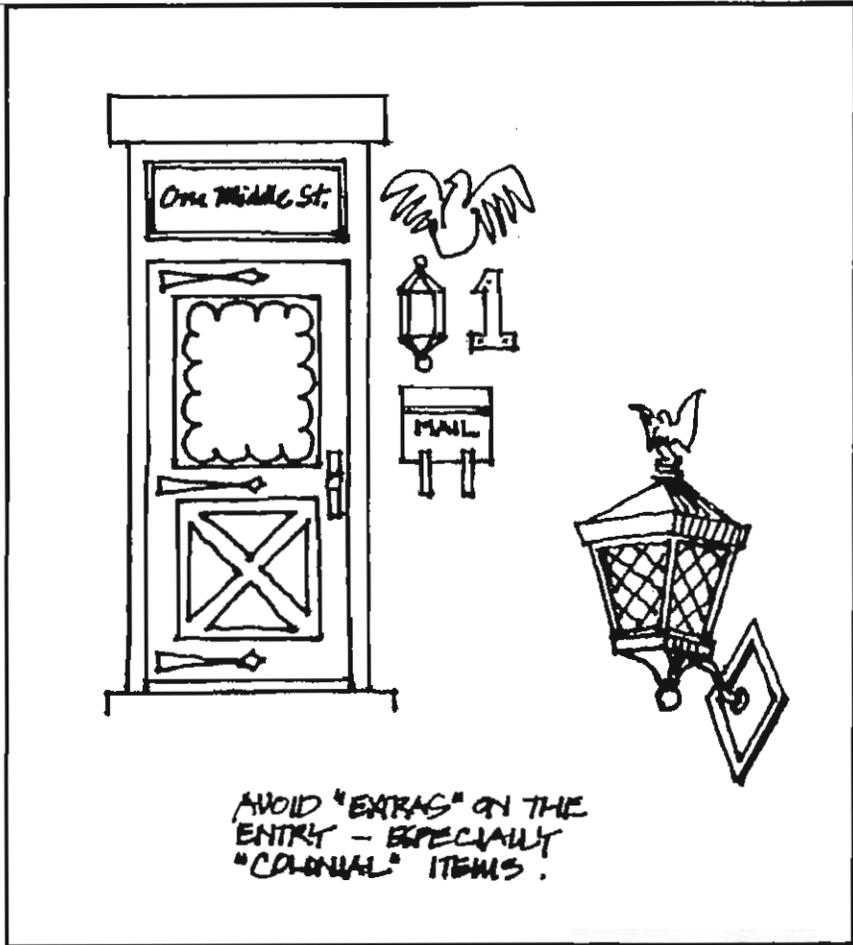
Avoid adding 'decorative' elements to entries. Modern storm or screen doors of so-called "Colonial" design will detract from an original entry. Colonial "carriage lights" are also inappropriate.

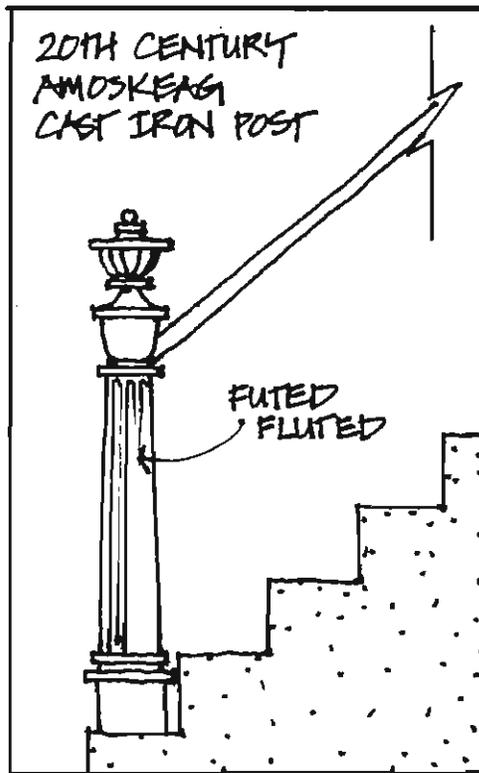
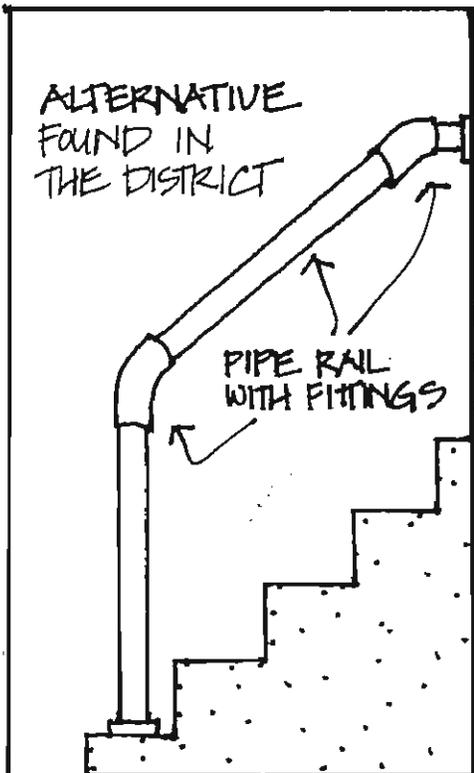
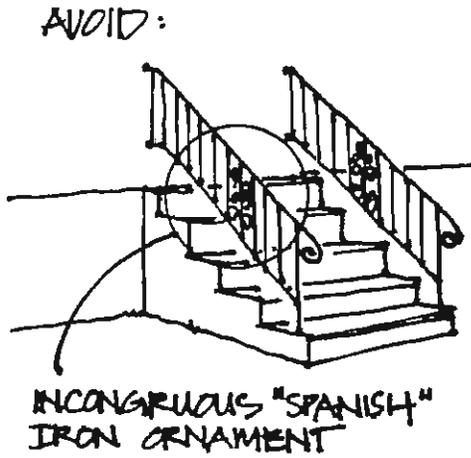
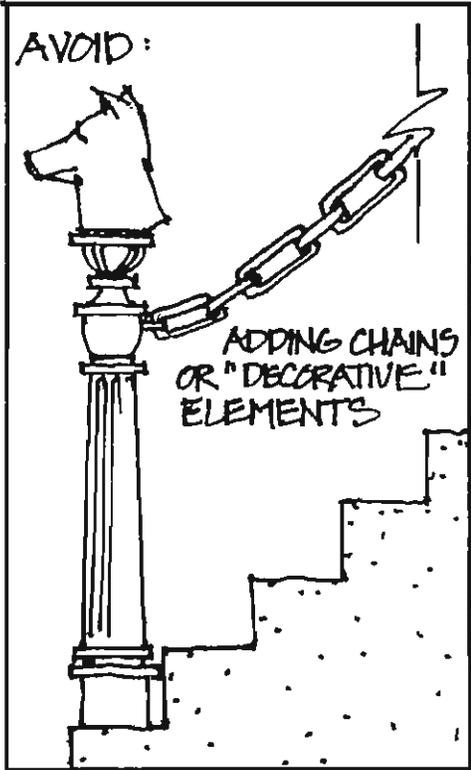
The drawing on page 55 illustrates other additions to the entrance which should be avoided. Trellises or wall ivy visually overwhelm the design of the entry. (And can seriously damage mortar and brick).

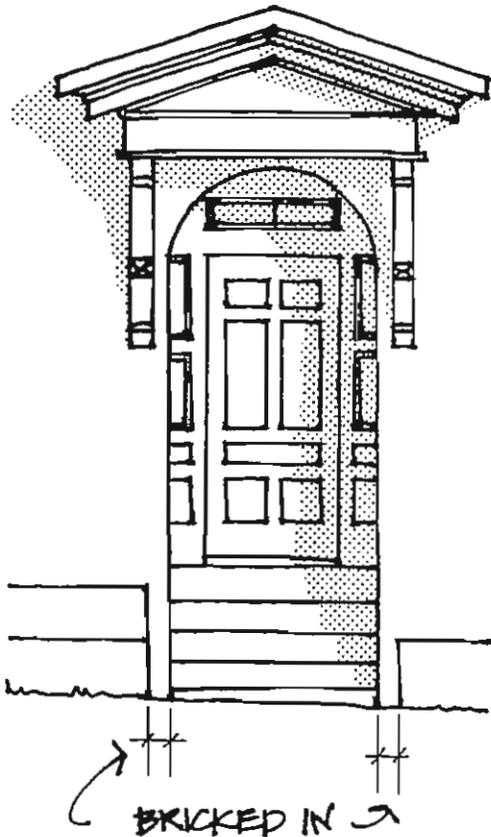
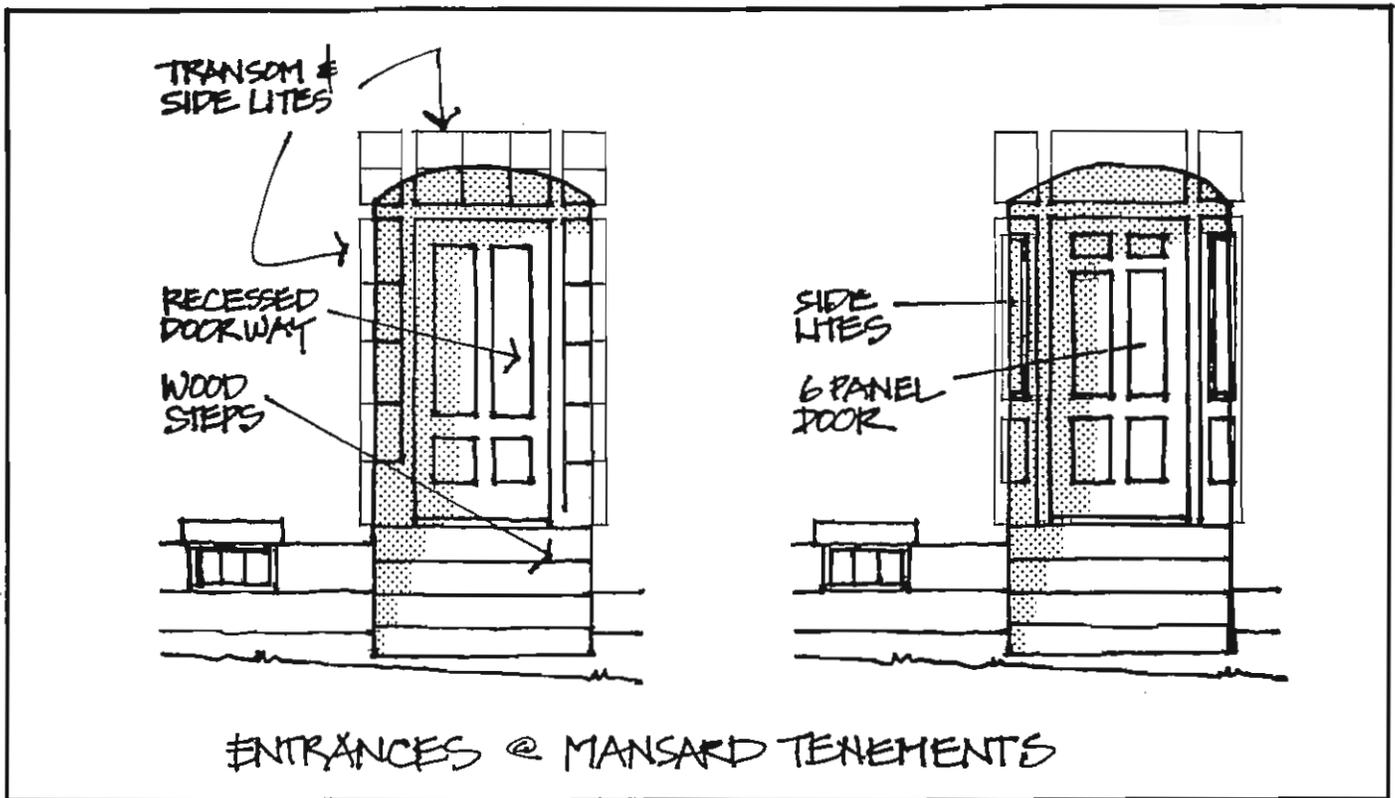
Do not remove brackets or transom mullions (division bars). Brick planters at ground level clutter the foundation line. If an owner wishes to add plantings at the front of the building, window boxes on the first floor are the best solution.

See page 78 for ideas on window boxes.









Between c.1870-1930 a number of original entries were altered by the Amoskeag. Today quite a variety of 'Amoskeag entries' are found in the District.

Stark Mill tenements exhibit a recessed entry similar to those of the mansard tenements on West Merrimack Street. (Stark building entry at bottom of page, mansard building entries at the top of this page.)

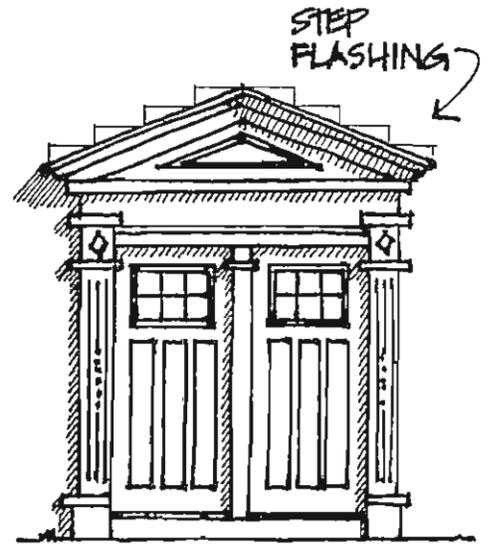
Stark Mill tenements also exhibit a type of wooden Amoskeag bracket common throughout the District.

Original entries should not be altered. The photo on page 57 illustrates what not to do. The entry opening has been blocked down. (Note outline above of original opening.) A busy-looking "Colonial" pediment and lamp have been added. Why such an expense to create a phony (and inappropriate) "historic look", when the original entry was genuine history?!

For additional information on entry rehabilitation, refer to the following sections:

DOORS  
PAINT COLORS

pg. 62  
pg. 69



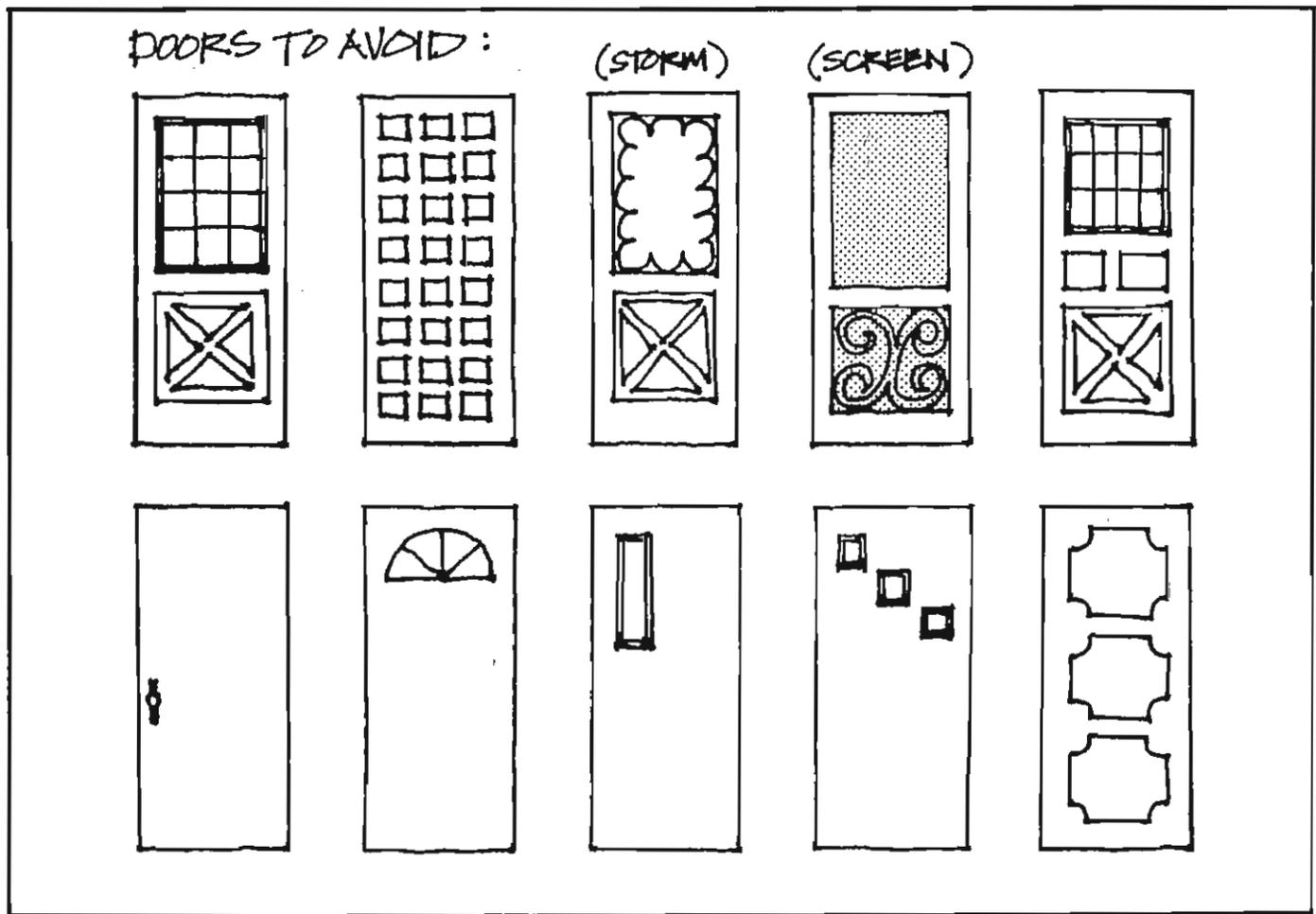
20TH CENTURY  
AMOSKEAG DOORWAY



Photos illustrating the variety of entry types found in the District. The photo below illustrates what not to do to an entry: door blocked down, A/C unit exposed, and oversized sign and electrical hook-up.



# Standards for Rehabilitation: DOORS, WINDOWS AND SHUTTERS

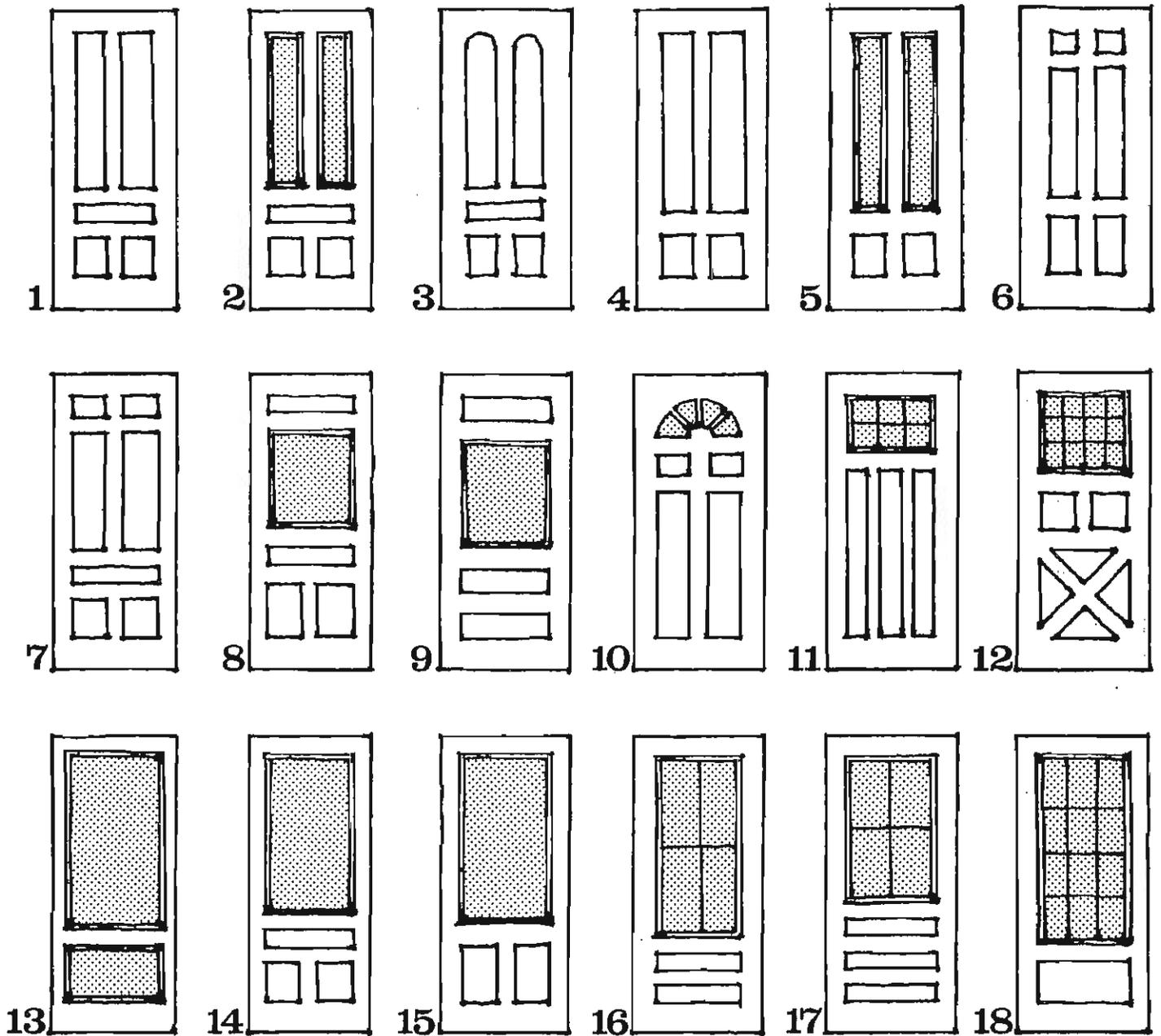


Doors which should never be used on District buildings.

See also: ENTRANCES, page 54.

Doors and windows are the features most often tampered with on an old building. Storm doors and windows are often superimposed, or originals ripped out altogether.

Storm doors are seldom a necessity if doors are properly weatherstripped, and are often an eye-

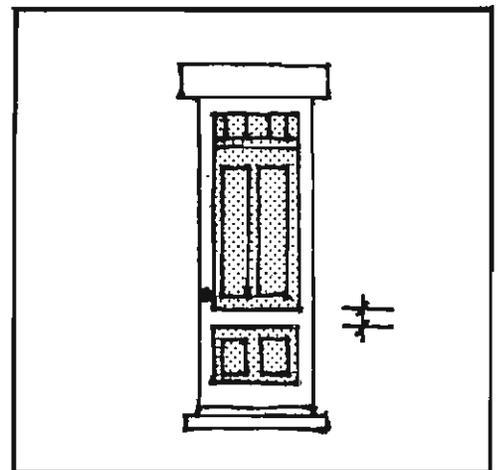


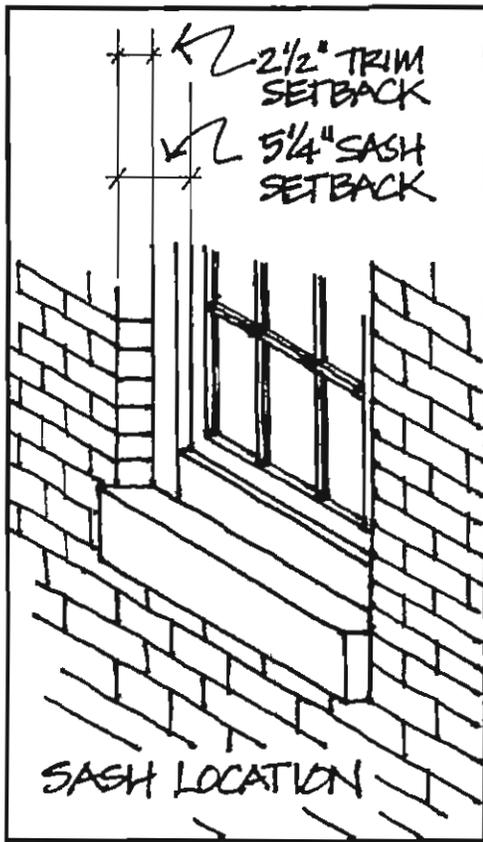
sore on an historic structure.

If used at all, storm (and screen) doors should be simple-framed plain painted wooden doors or anodized aluminum frame doors. (The color of the storm door should match the door or trim color behind it.)

Doors numbered 13 - 18 above are screen door styles original to the Amoskeag. Numbers 13 -15 are the most desirable styles for use today unless remaining or pictorial evidence indicates that another style was original to the building.

Often screen doors were sized to cover both the



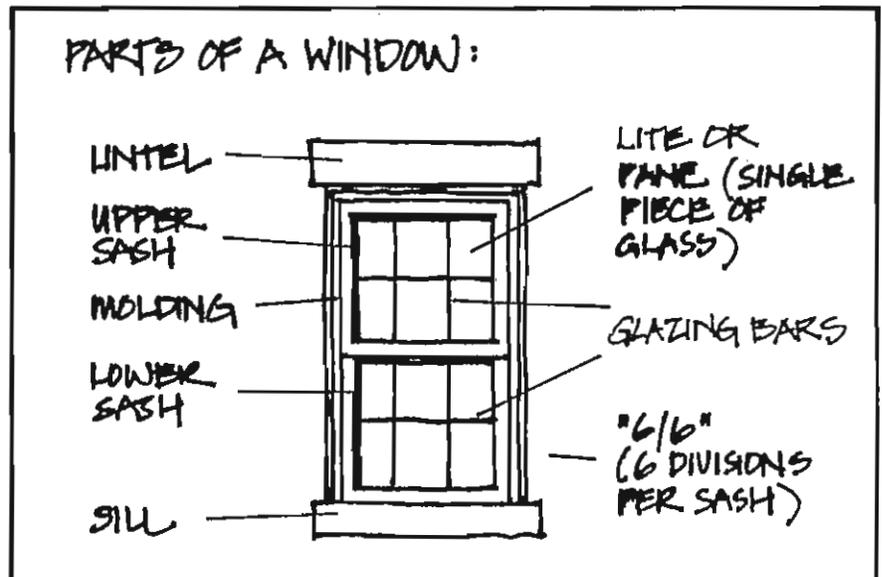


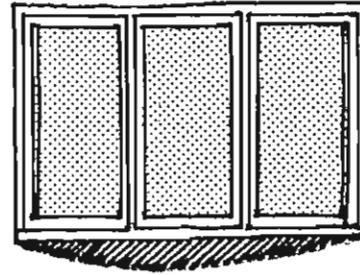
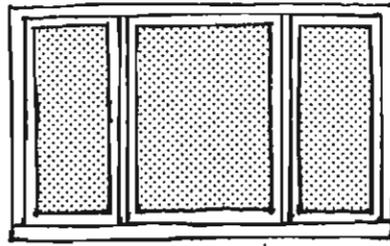
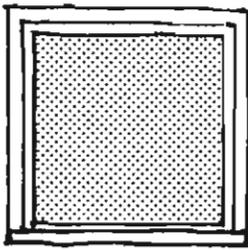
When replacing original sash, both the size and location of the original window should be retained.

door and transom, as indicated on door #19. If custom doors are to be fabricated, consider this style.

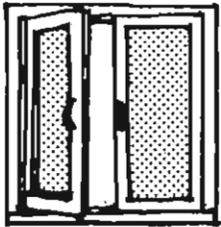
The Amoskeag doors illustrated can be found on the following buildings:

- 1,2 on tenements and overseers houses ; this is the most common Amoskeag door.
- 3 historically found on tenements as a variation of door #2, though none of these doors remain.
- 4 on mansard tenements and throughout the District on rear ells.
- 5 on rear ells
- 6 on some mansard tenements. This is probably a later alteration.
- 7 on Stark Mill tenements at Mechanic and Canal Streets; a later alteration.
- 8 on the end entrance of the tenement on the north side of Middle and Canal Streets.
- 9 on the tenement on the north side of Middle Street, and on some Stark Mill tenements.
- 10 on the overseers block at the north side of Middle Street.
- 11 on the overseers block on the north side of West Merrimack Street.





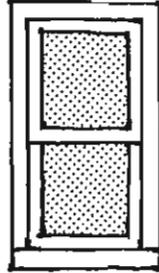
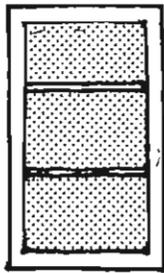
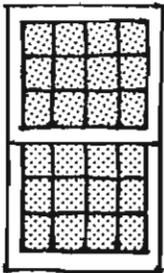
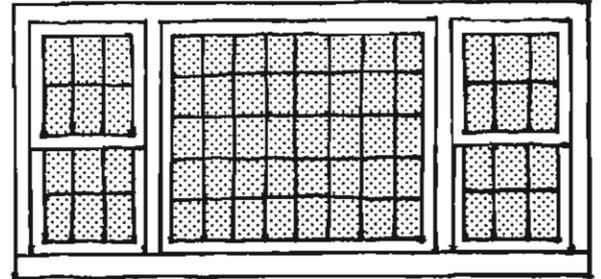
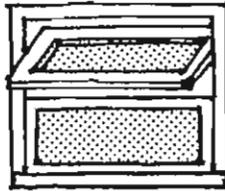
PICTURE  
WINDOWS



CASEMENT  
WINDOW



AWNING  
WINDOW



### WINDOW STYLES TO AVOID

DO NOT INSTALL WINDOWS WITH  
GREATER, OR FEWER, PANES  
THAN ORIGINAL SPEC. DO NOT  
ALTER WINDOW OPENING SIZE.

12 at the end entrance of the bottom tenement on the south side of Market St. (This is the least attractive of the Amoskeag doors which were added as later alterations.)

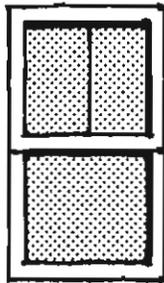
THE ORIGINAL DOOR STYLE IS THE MOST APPROPRIATE.

If your original door is missing, MATCH THE DOOR TYPE OF YOUR NEIGHBORS! (Originally all doors on a block were of the same style.)

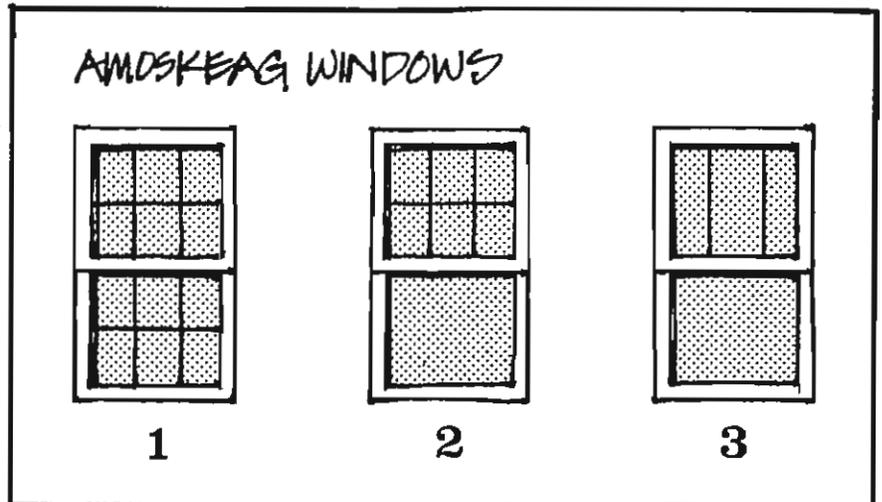
If no clues remain to guide you in choice of a new door, the designs numbered 1-5 should be considered first (they were the earliest, and most common doors).

NO WINDOWS WILL LOOK AS APPROPRIATE AS THOSE WHICH WERE ORIGINAL TO THE BUILDING.

The builders' current vogue is for 'Colonial' baloney: pseudo Colonial designs such as 'snap-in' plastic muntins and mullions. Avoid these!



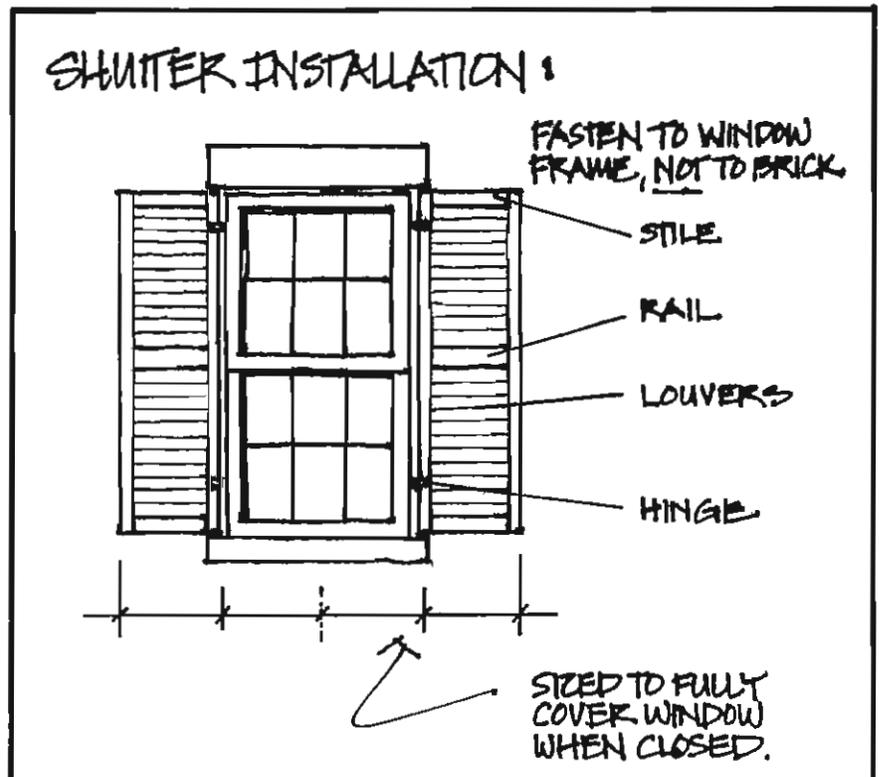
This window type is found exclusively on the rear of the middle tenement on Mechanic Street. It should not be used elsewhere. Note that on a single facade window types should never be mixed.

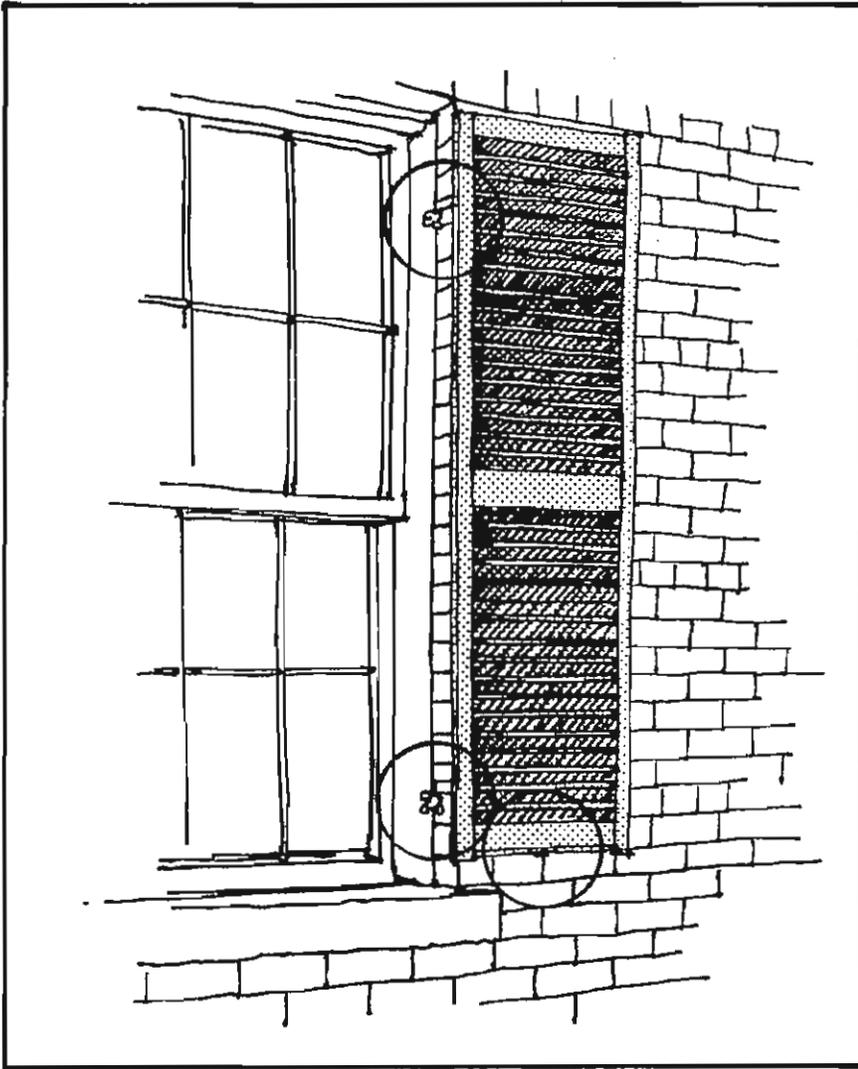


Six-over-six (6/6) double-hung window sash is the most common type of window in the Amoskeag Corporation Housing Historic District. It is the preferred window for replacement unless historic research indicates otherwise. Do not mix window styles on a given facade.

Other windows found in the District are:

- 2 a 6/1 window associated with the Queen Anne style of architecture popular c. 1875-1890. This window is found on overseers blocks facing east on the north side of Middle and West Merrimack Streets.





Shutters are appropriate only on overseers houses. Shutter hardware may be evidence today of original installation on a building.

- 3 found on overseers houses on the south side West Merrimack Street. This 3/1 window type is rare and examples in the Amoskeag should be protected.
- 4 occasionally seen on the backs of tenements, this 2/1 window was probably installed as replacement for original sash in renovations c.1900. It is an odd window in an otherwise 6/6-windowed facade and should not be used today. (Exception: the rare instance it is evident on the entire facade.)

SECRETARY OF THE INTERIOR'S STANDARDS : DOORS & WINDOWS

Recommended

Retaining and repairing original window and door openings, frames, sash, glass, doors, lintels, sills, pediments, architraves, hardware, awnings and shutters where they contribute to the architectural and historic character of the building.

Improving the thermal performance of existing windows and doors through adding or replacing weatherstripping and adding storm windows and doors which are compatible with the character of the building and which do not damage window or door frames.

Replacing missing or irreparable windows on significant facades with new windows that match the original in material, size, general muntin and mullion proportion and configuration, and reflective qualities of the glass.

Not Recommended

Introducing or changing the location or size of windows, doors, and other openings that alter the architectural and historic character of the building.

Replacing window and door features on significant facades with historically and architecturally incompatible materials such as anodized aluminum, mirrored or tinted glass.

Removing window and door features that can be repaired where such features contribute to the historic and architectural character of the building.

Changing the size or arrangement of window panes, muntins, and rails where they contribute to the architectural and historic character of the building.

Installing on significant facades shutters, screens, blinds, security grills, and awnings which are historically inappropriate and which detract from the character of the building.

Installing new exterior storm windows and doors which are inappropriate in size or color, which are inoperable, or which require removal of original windows and doors.

Installing interior storm windows that allow moisture to accumulate and damage the window.

Replacing sash which contribute to the character of a building with those that are incompatible in size, configuration, and reflective qualities or which alter the setback relationship between window and wall.

Installing heating/air conditioning units in the window frames when the sash and frames may be damaged. Window installations should be considered only when all other viable heating/cooling systems would result in significant damage to historic materials.

# Standards for Rehabilitation: PAINT COLORS

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The choice of colors used on the original Corporation structures was an important factor in the visual cohesiveness of the Amoskeag neighborhood. By using the same color on trim elements on all buildings the neighborhood was visually tied together creating a wholeness and impact far greater than just the sum of its individual parts.

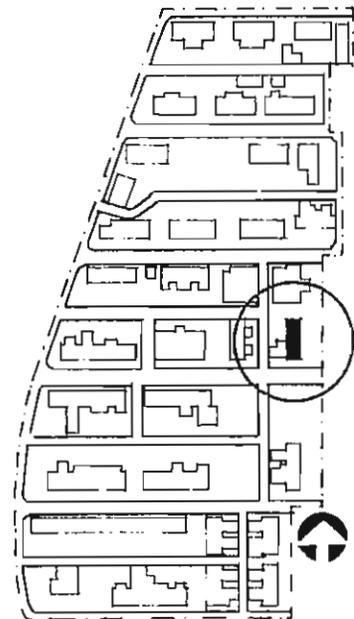
In revitalization actions today every effort should be made to restore this visual strength made possible through a consistency of color.

The Secretary of the Interior's Standards noted on page 71 represent the guidelines to which the Commission will adhere when reviewing applicants' proposals for paint colors and treatment of the Amoskeag buildings.

The following Paint Chart indicates original colors found in the Amoskeag neighborhood today as well as some suggested alternatives (for which there is no remaining evidence of original use.)

The fronts of the buildings are most critical. Alternate colors proposed by applicants for front trim features must be reviewed by the Commission, and are unlikely to meet with approval.

Greater color variety is possible on the rears of buildings. Here much alteration of the original eels and porches is evidenced, and there is less architectural consistency on which the Commission would be likely to argue for consistency of color. Colors other than those on the Paint Chart will be considered.



The original rear doors and porches of the overseers house facing west on Middle Street provide a good reference for the 'Amoskeag green' color.

## PAINT CHART

### ORIGINAL BUILDINGS

window sash					
window frame					
door frame					
dormer trim	<u>to be</u>	white <sup>1</sup>			
doors	<u>to be</u>	Amoskeag green <sup>2</sup> (dark brown red) <sup>3</sup> (grey) (grey blue) (dark yellow) (beige) (slate blue) (slate green) (ochre)			
entry hoods	<u>to be</u>	white <sup>4</sup> (cream) (light grey) (Amoskeag green) (dark brown red)			
			entry hood brackets	<u>to be</u>	same color as hood Amoskeag green (iron only) black (iron only)
			shutters (overseers building only)	<u>to be</u>	Amoskeag green
			foundation	<u>to be</u>	unpainted (granite)
			window sills and lintels	<u>to be</u>	unpainted (granite)
			chimneys	<u>to be</u>	unpainted (brick)

### REAR ELLS

<u>Doors</u>	<u>Window Sash</u>	<u>Clapboards</u>	<u>Trim</u>
dark grey	light grey white black	dark grey	light grey
light grey Amoskeag grn.	light grey white black	light grey	dark grey
dark brn.red (Amoskeag gn)	cream yellow (Amoskeag grn.) (white)	dark brn.red (Amoskeag gn.)	cream yellow (white) <sup>5</sup>
(cream)	(white)	(cream)	(white)

### PORCHES <sup>6</sup>

<u>Foundation apron</u>	<u>Rails &amp; Steps</u>	<u>Posts &amp; Trim</u>
Amoskeag green dark grey	dark grey	light grey
Amoskeag green	dark cream	light cream

### WOOD FENCES & GATES

<u>to be</u>	white light grey cream dark grey Amoskeag green
--------------	-------------------------------------------------------------

### IRON FENCES

<u>to be</u>	black Amoskeag green
--------------	-------------------------

### IRON STAIR HAND RAIL

<u>to be</u>	black
--------------	-------

1. Although remaining evidence seems to suggest a pale yellow (Benj. Moore #GB-23, #GB-34) may have been used for these elements at some point by the Amoskeag Corporation, white should be the preferred color. Of particular importance is to encourage a single color for these elements on an individual building regardless of possible multiple ownership.
2. When the Amoskeag Corporation held responsibility for maintenance of the buildings all doors would have been the same color. Today individual occupants may wish to distinguish their entries with a door color of another choice. This should be allowed so long as the color does not clash with neighboring entry colors or with the fabric of the building itself. The alternate colors listed here are suggestions. For colors other than Amoskeag green, applicants should submit color samples to the Commission for approval. Note: doors should not be left unpainted.
3. From evidence of colors original to the Amoskeag the following Benj. Moore paint colors have been identified:
 

Dark grey (on ell)	#GN-3
Dark grey (on overseers house)	#GN-10
Dark brown red (on ell)	#ST-1
Pale yellow (trim, on ell)	#YL-29

'Amoskeag green' is a deep forest green with a good deal of black in it. This color remains in evidence throughout the District. The rear doors and porches of the overseers house facing west on Middle Street provide a good visual reference for this color.
4. White is preferred. The alternate colors may be considered if the applicant can assure the Commission that all entry hoods on an individual building will be painted the same color.
5. These are suggested as acceptable alternatives although no evidence confirms their original use in the Amoskeag.
6. Where original rear porches remain intact along the length of a building, all porches should be painted the same color.

SECRETARY OF THE INTERIOR'S STANDARDS : PAINT

Recommended

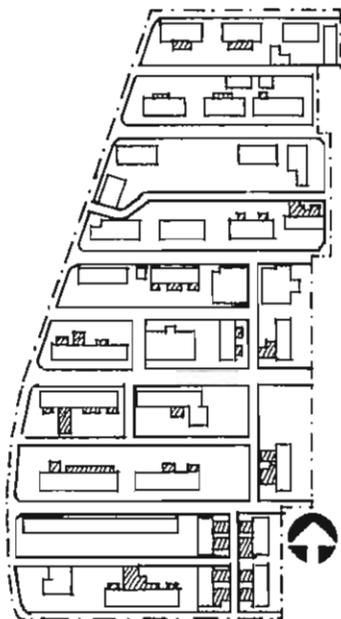
Discovering the historic paint colors and finishes of the structure and repainting with those colors to illustrate the distinctive character of the property.

Not Recommended

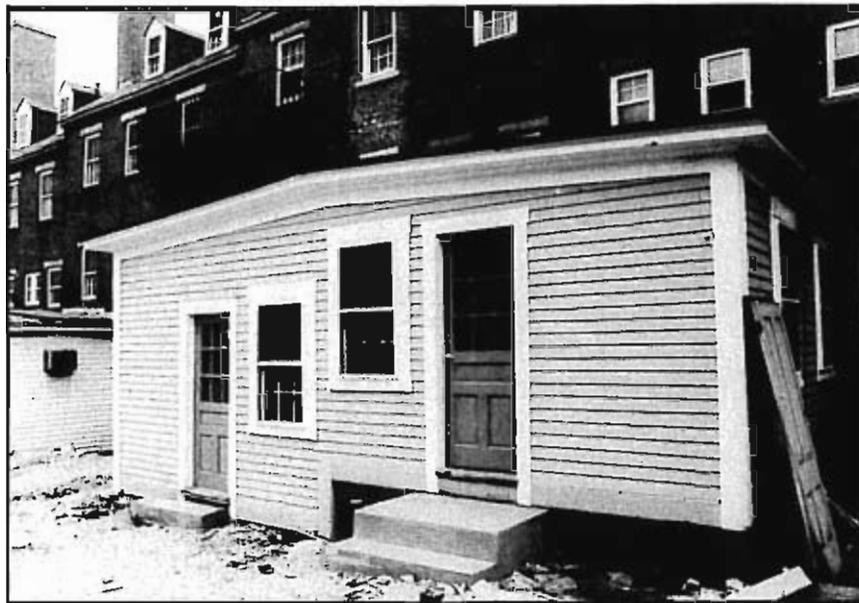
Removing paint and finishes down to the bare surface; strong paint strippers whether chemical or mechanical can permanently damage the surface. Also, stripping obliterates evidence of the historical paint finishes.

Repainting with colors that cannot be documented through research and investigation to be appropriate to the building and neighborhood.

# Standards for Rehabilitation: ELLS, PORCHES AND FIRE ESCAPES



Ells and porches which remain in the District, May 1981.

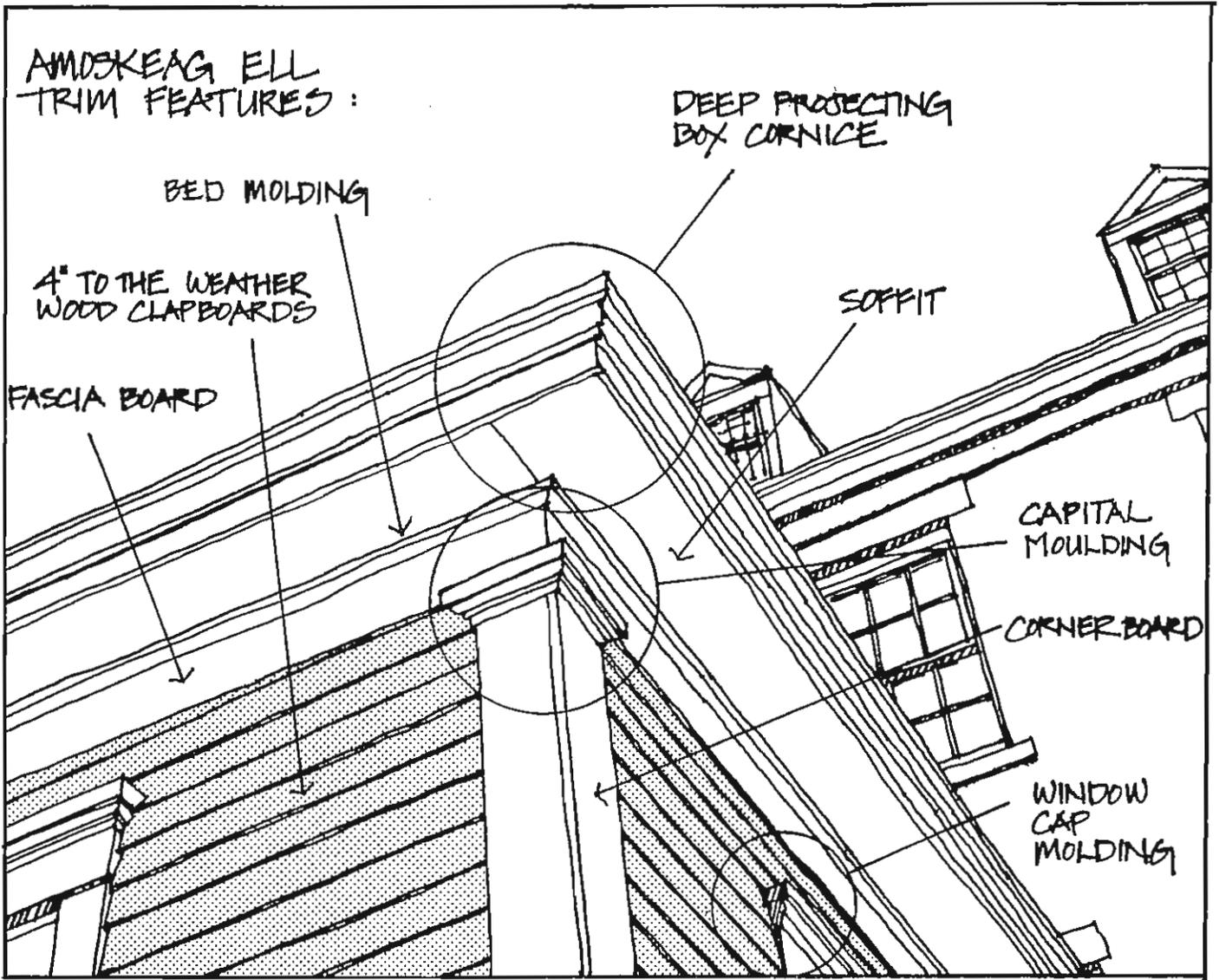


Before the days of indoor plumbing the back alleyways between tenement blocks were uniformly lined with outdoor privies. (See 1876 drawing, page 10.)

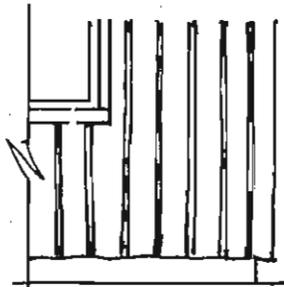
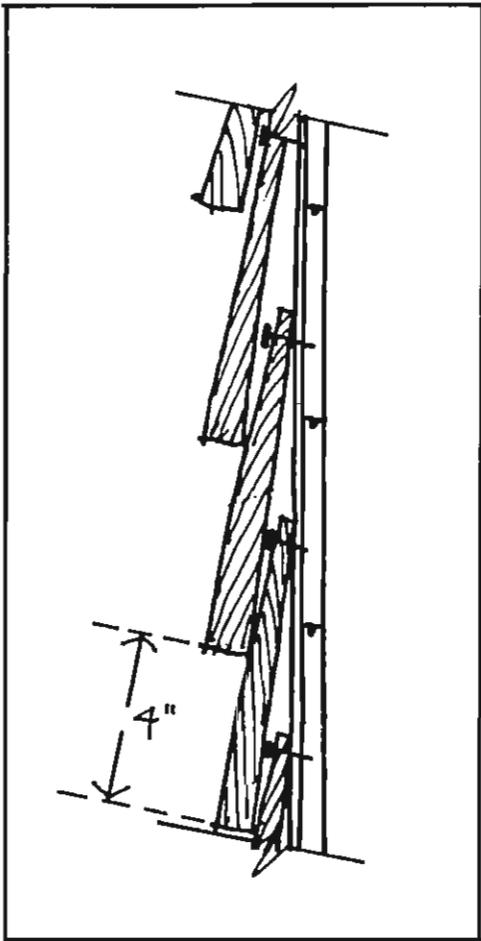
Well before the turn-of-the-century these out-buildings were removed and replaced by clapboard-covered wood frame ells attached to the rears of buildings. Ells usually housed kitchens (which enabled tenants to keep the the hot stove away from the main body of the house - a blessing during summer months), and wood storage.

Originally, every tenement and overseers' house had an ell, or ells. This reinforced the regularity of the District's plan and helped establish the sense of enclosure of the original alleyways and yards. (See map, page 13.)

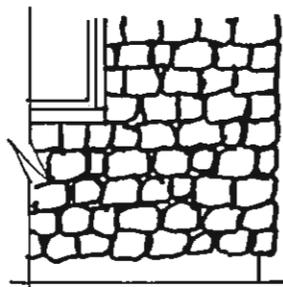
Many of these Amoskeag ells have been demolished.



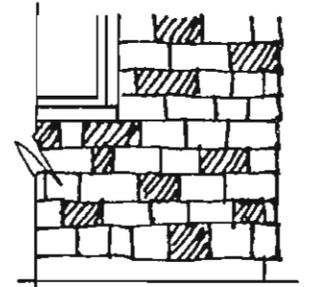
Trim details found on wood-frame Amoskeag ells. These elements should be retained in renovation. Photos show a well-maintained ell (opposite page), and a poorly-maintained ell (left).



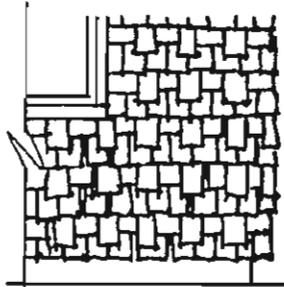
VERTICAL SIDING



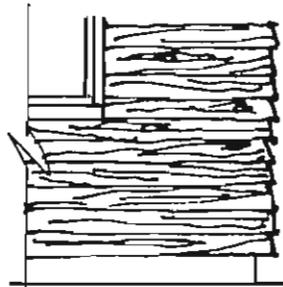
ARTIFICIAL STONE (OR BRICK)



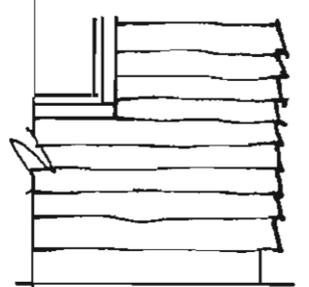
ASBESTOS SHINGLES



STAGGERED BUTT SHINGLES



GRAINED VINYL



WIDE VINYL OR ALUMINUM

SIDING TYPES TO AVOID

Today midblock alleys appear disheveled, vast, and empty except for haphazardly parked cars.

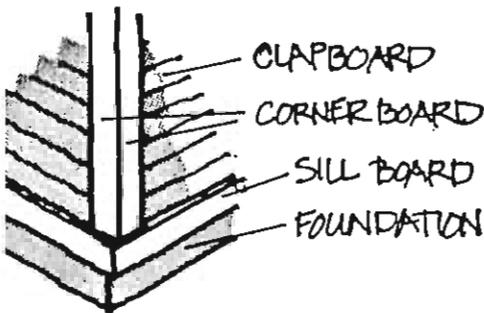
Efforts to improve upon the design quality of these open spaces should include preservation of remaining ells.

Ells should not be painted or sided to look like brick. Original clapboard ells were painted light colors, and clearly contrasted with their brick neighbors.

Synthetic sidings are to be discouraged as they will drastically alter the appearance of an ell. Above all - do not remove the wood trim features which give the ells their architectural definition.

Be considerate about choosing colors which will complement the brick buildings and adjacent ells.

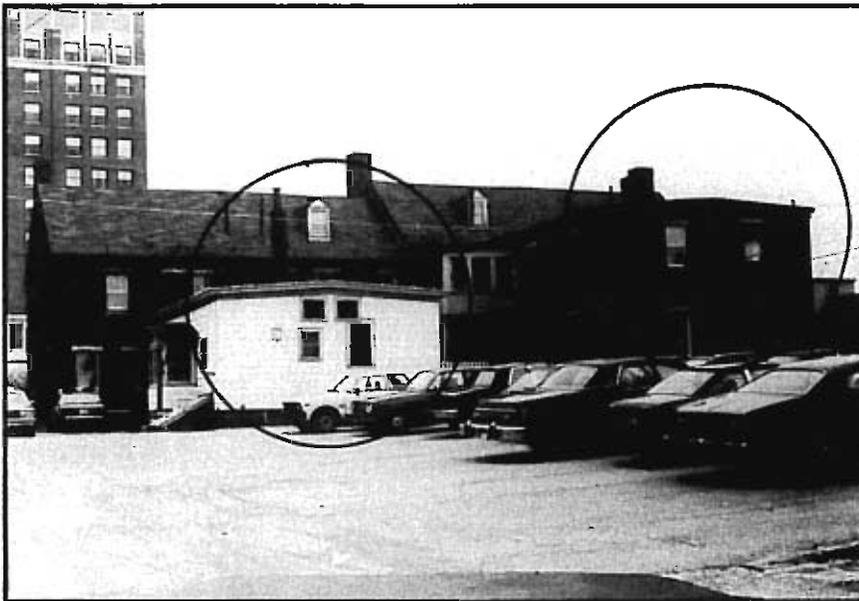
Refer to Paint Colors, page 69, for suggestions on appropriate color combinations.



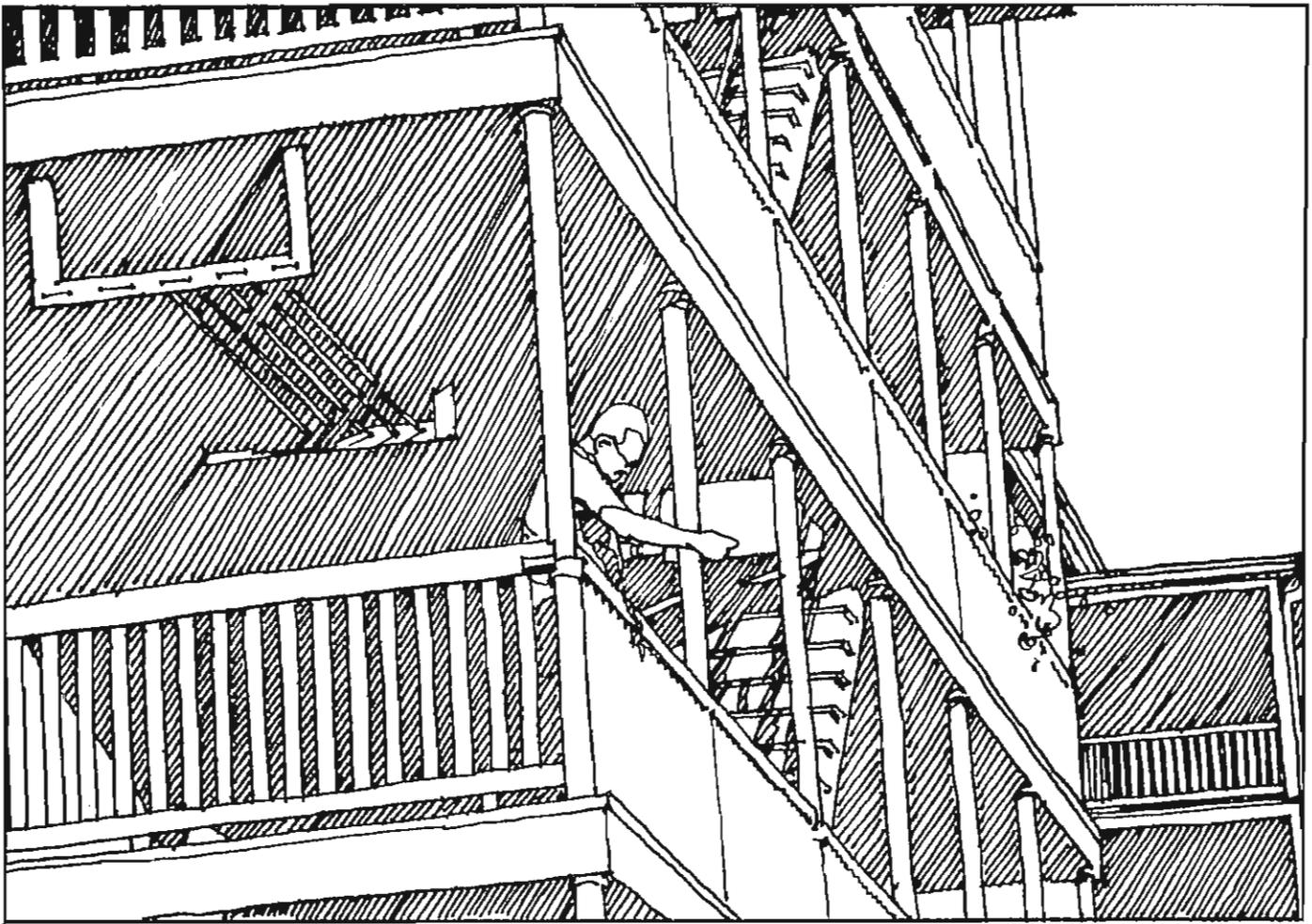
Wood clapboards should be maintained on ells. Synthetic sidings are not acceptable. Do not remove original wood trim at sill, corners, windows, doors and top.

AMOSKEAG PEDIMENT  
FOUND ON BRICK ELLS :

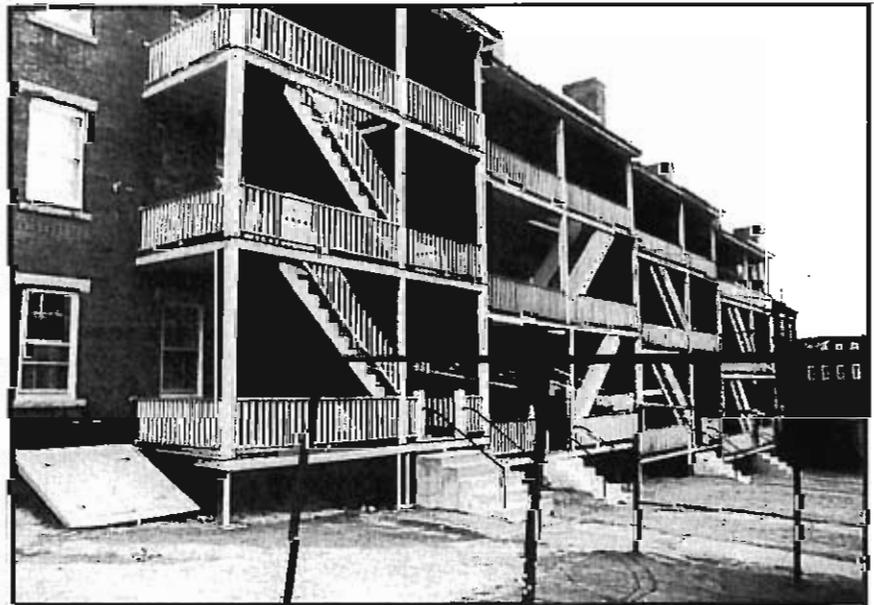
NOTE EXTREMELY  
FLAT PROFILE

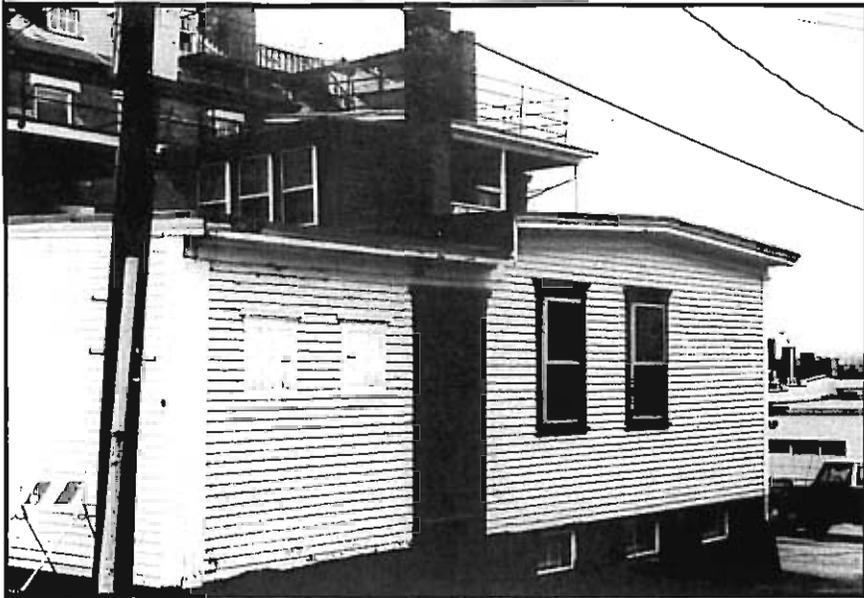


A characteristically low-profile pediment (similar to the entry hood pediment) is found on both brick and frame ells. The photo is of houses on the corner of West Merrimack and Franklin Streets.



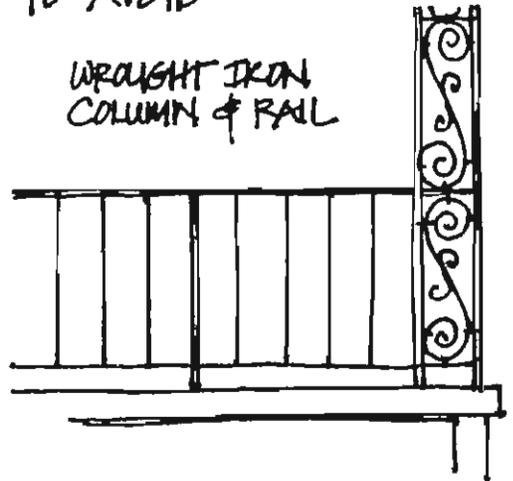
Original wood porches stepped down the hillside in rhythm with the individual buildings. The photo is of the rear of tenements along the north side of West Merrimack Street. When well-maintained, these original wood porches are a utilitarian and handsome component of the Amoskeag.



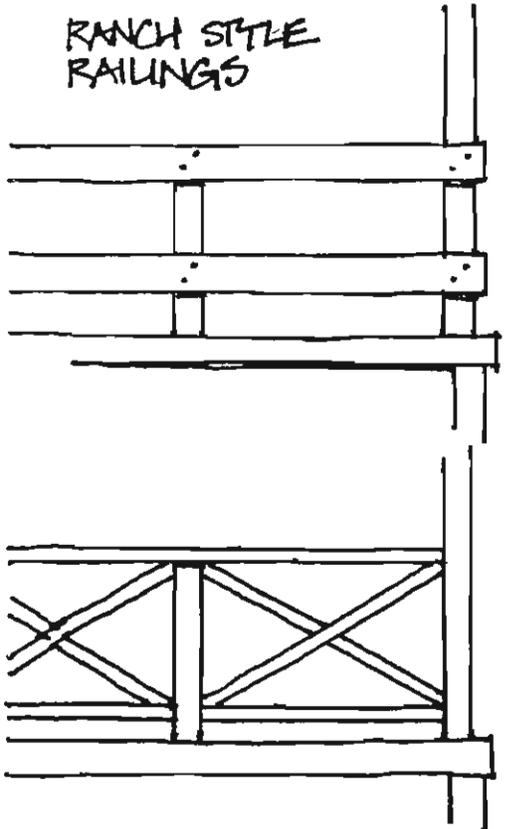


PORCH RAILINGS  
TO AVOID:

WROUGHT IRON  
COLUMN & RAIL



RANCH STYLE  
RAILINGS



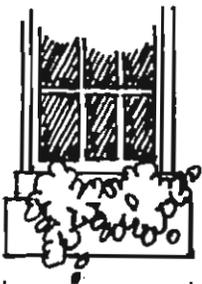
In the top photo notice the pipe rail added to create decks on the roofs of original ells. (On Pleasant Street.) This is a good modern detail.

The photo below shows fire balconies added to rears of tenements on the south side of Middle Street. This is a handsome modern use of the Amoskeag bracket.

# Standards for Rehabilitation: FENCES AND WINDOW BOXES



LOCATE ON GROUND  
FLOOR ONLY



MAX. SIZE: SLIGHTLY  
LARGER THAN  
WINDOW

AVOID:



INCORRECT BUSH  
SILHOUETTE: USE  
SIMPLE BOX SHAPE

Fences, both iron and wood (refer to Metals, page 50, for iron), were originally an essential and visually delightful component of the Amoskeag.

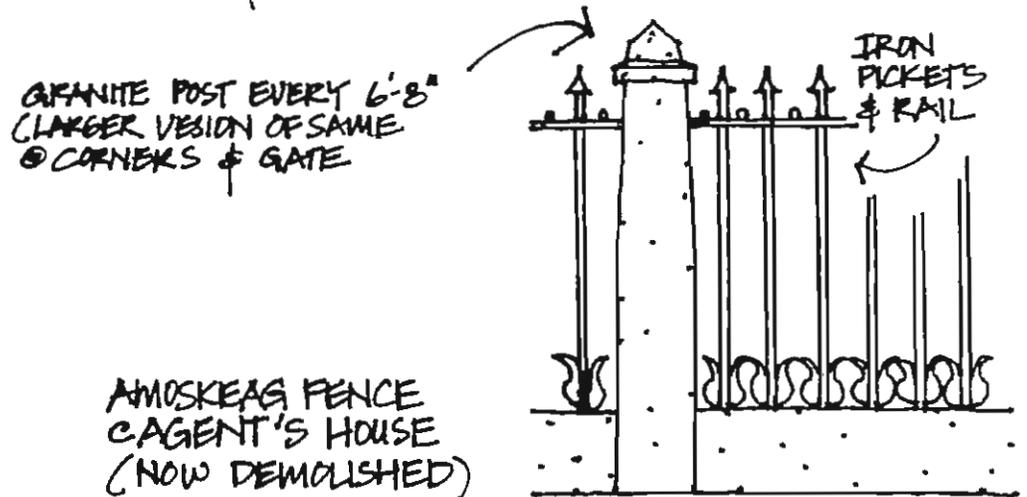
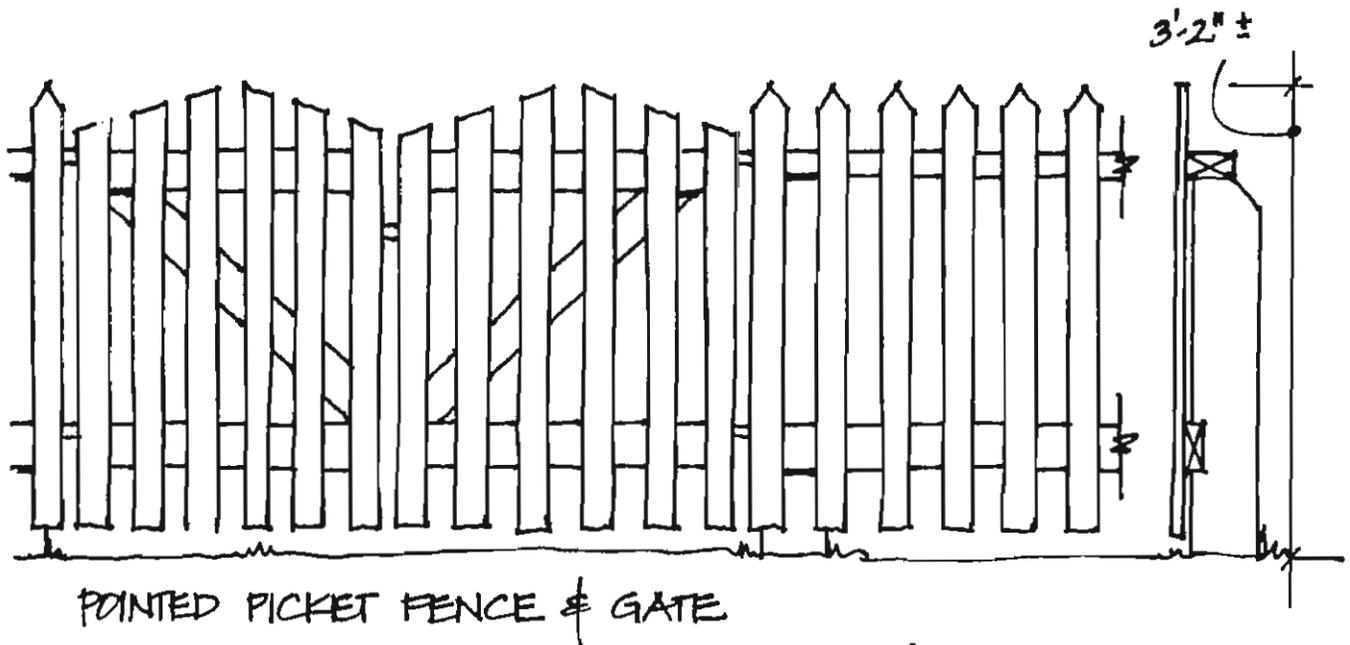
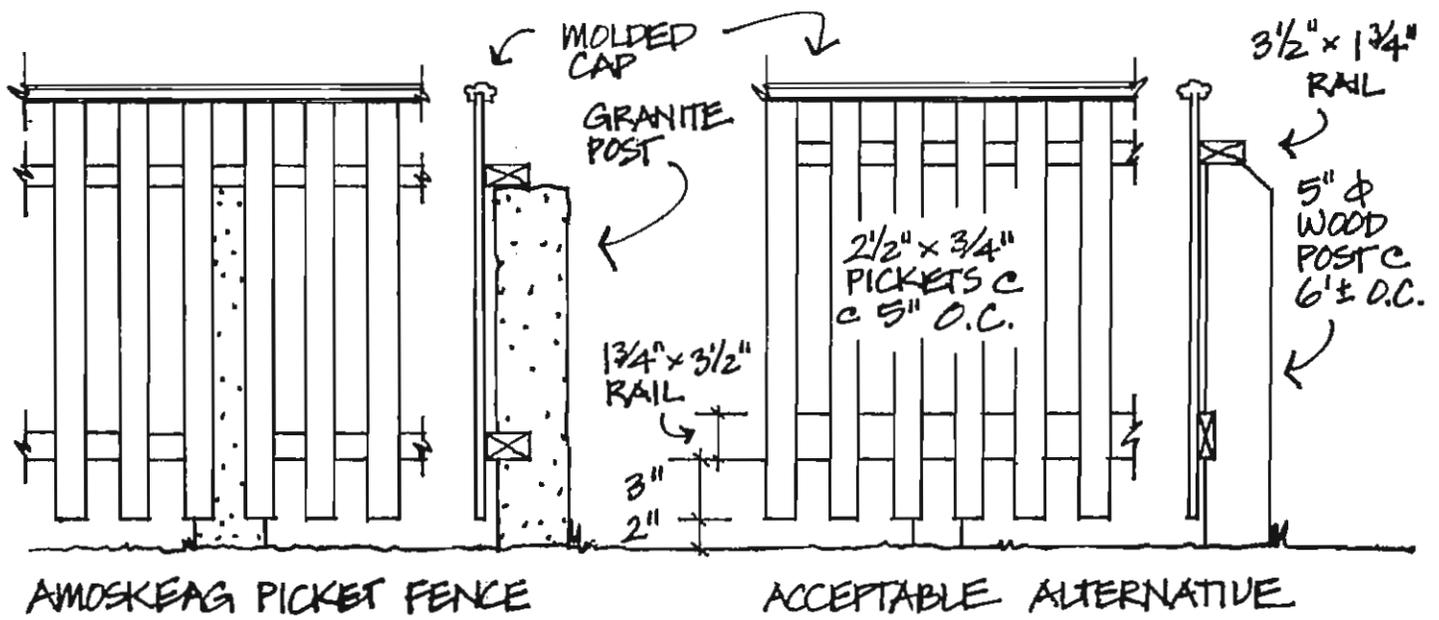
Fences defined front and rear yards on overseers houses, and surrounded thru-block connecting pedestrian alleyways at the tenements.

Fences helped mark the public and private spaces, and afforded the protection needed to enable grass and trees to mature.

Reinstating fences in the manner in which they were originally used could make an important, and dramatic contribution toward enhancing the historic and urban design qualities of the Amoskeag Corporation Housing Historic District.

Granite posts were traditionally used to support both the picket and pointed-top picket fence (illustrated). Today, wood posts are a less costly substitute and can very nearly replicate the appearance of the historic fences.

Window boxes add a personal, caring touch, if they are well-maintained.



## IV. The Review Process\*

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Step One: Know your building, its relationship to other buildings and the neighborhood as a whole.

Go to: -The Manchester Historic Association  
-The Amoskeag Neighborhood Association  
-the City's Planning Department  
-an architect experienced in historic districting and adaptive re-use of historic buildings.

Step Two: Know the Ordinance.

Go to: -The Amoskeag Neighborhood Association  
-the City's Planning Department  
-the Historic District Commission

Step Three: Determine whether what you want to do falls under the local Ordinance. Seek technical advice.

Go to: -the City's Planning Department  
-the Building Department

Step Four: Obtain Application Packet from the City Planning Department.

Get assistance in filling-out Application and preparing presentation materials at the City Planning Department.

Complete Application and required presentation materials.

Go to City Planning Department for review for completeness of Application.

File Application and presentation materials with the Building Department.

Step Five: Meet with the Historic District Commission at the meeting scheduled for review of your Application.

\* Material prepared by Valerie Puddington, Amoskeag Neighborhood Association.

## V. Sources of Assistance

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New England Regional Office  
NATIONAL TRUST FOR HISTORIC PRESERVATION  
100 Franklin Street  
Boston, Massachusetts 02110  
617-223-7754

Provides funding for special projects, technical assistance and information.

STATE OFFICE OF HISTORIC PRESERVATION  
Rm. 201, 6 Loudin Road  
Concord, New Hampshire  
1-217-3483

Provides funding for special projects, technical assistance and information.

NEW HAMPSHIRE CHARITABLE TRUST AND AFFILIATED FUNDS  
1 South State Street  
Concord, New Hampshire 03301  
1-225-6641

Provides funding for not-for-profit organizations for special projects.

MANCHESTER HISTORIC DISTRICT COMMISSION  
c/o City Planning Board  
City Hall  
Manchester, New Hampshire 03101  
625-8911

CITY PLANNING BOARD  
City Hall  
Manchester, New Hampshire 03101  
625- 8911

Provides general information regarding the local Historic District and the application and review process as adopted by the Manchester Historic District Commission.

# Glossary of Architectural Terms

Preservation-	is the process of sustaining the form and extent of a structure essentially as it now exists. Preservation aims at halting further deterioration and providing structural stability but does not contemplate significant rebuilding.
Restoration-	is the process of accurately recovering the form and details of a property as it appeared at a particular period of time by removing later work and by replacing missing original work.
Reconstruction-	is the process of reproducing by new construction the exact form and detail of a vanished structure, or part thereof, as it appeared at a specific period of time. Reconstruction should be undertaken only when the property to be reconstructed is essential for understanding and interpreting the value of a historic district and sufficient documentation exists to insure an exact reproduction of the original.
Renovation/ - Rehabilitation	is the process of returning a property to a state of utility, through repair of alteration, which makes possible an efficient contemporary use. In rehabilitation, those portions of the property important in illustrating historic, architectural, and cultural values are preserved or restored.

bay-	The regular external divisions of a building marked by windows or other vertical elements. (A three bay facade). Also an external projecting feature; (a bay window).	frieze-	The middle part of the deep flat boards under a classical cornice.
bracket-	A small carved or saw-cut wooden projecting element which supports a horizontal member such as a cornice, or window or door hood.	gable roof-	A roof with a central ridgepole and one slope at each side. (A gable is the triangular section of wall under the roof edge.)
capital-	The top element of a column or pilaster.	lintel-	A horizontal beam over a wall opening (window, door) either decorative or structural.
clapboard-	A common type of horizontal wall cover, usually of wood.	mortar-joint-	space between individual bricks or stones filled with a binding material.
classical-	Pertaining to the architecture of Greece and Rome, or to the styles inspired by the architecture (Georgian, Federal).	moulding-	a decorative series of concave and/or convex curves executed in wood, stone or other materials.
column-	A vertical pillar or shaft, usually supporting a member above.	munтин-	The wooden dividing strips between the panes or "lights" in a multi-paned window.
cornerboard-	A narrow or wide wooden vertical board at the corners of a frame building.	pediment-	The triangular decorative cap over a window or door, or the triangular space formed at the end walls of a gable roof.
cornice-	a molding or series of molding under the eaves of a building.	pilaster-	A square pillar attached, but projecting from a wall, resembling a classical column.
cupola-	A small roof tower, usually rising from the topmost center of the roof ridge. Cupolas often have windows and can have a variety of roof types: gable, flat, hexagonal, etc.	portico-	An entrance porch.
dentil-	a small rectangular block forming one of a series, used most often to ornament a cornice.	repointing-	refilling the joints of masonry with mortar. (also known as "tuck-painting", or simply, "pointing")
dormer-	a roofed window that projects from the roof.	sandblasting-	a technique using sand under pressure to clean masonry surfaces. <u>Not Recommended.</u>
double-hung-	a window composed of two moveable sections, one above the other.	sash-	The frame in which the panes of a window are set.
entablature-	a horizontal composite element above the capital of a column.	sill-	The lower horizontal member of a door frame, window frame or wall.
facade-	The front face or elevation of a building	transom-	A horizontal window opening above a door.
finial-	Projecting ornamental ironwork at top of a gable, spire, or pointed roof.		
flashing-	sheets of metal or other materials used to cover and protect certain joints and angles where the roof comes in contact with the chimney or with other roof pitch.		

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